

Bexley Rd Transitional Learning Centre.

RIBA Stage 3 Report

BTLC-POZ-ZZ-XX-RP-A-0001_RIBA Stage 3 Report

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1.0 Executive Summary.

1.0 Introduction & Strategic Brief.

Introduction

Pozzoni Architects were appointed by Galliford Try to work with The Royal Borough of Greenwich to lead a multi-disciplinary team in developing proposals, through RIBA Stage 3, for the construction of the Bexley SEN&D Transitional Learning Centre, located at 77 Bexley Road, Eltham, London, SE9 2PE to replace an existing building on the site.

The designs for the new Bexley Transitional Learning Centre have evolved from a requirement for the Royal Borough of Greenwich to find an economical solution to provide support and learning for young adults with SEN&D (Special Education Needs and Disabilities) to learn life skills and adapt to independent living, generally on leaving school

The existing buildings on the Development Site that were previously used for environmental learning for young people are derelict and no longer fit for purpose and include: undersized classrooms;

The report set out several key recommendations to be reviewed during RIBA Stage 3, but a few of these impacted on fundamental aspects of the overall site layout as follows:

inadequate toilet provisions; and limited external recreational facilities, which impedes learning and limits the educational “offer” for learners with special educational needs and disabilities. A full “rebuild option” for the existing and previously named ‘Environmental Learning Centre’ was felt to be the only proactively economic choice because of the insurmountable complexities involved in trying to alter/extend the existing buildings on site.

As a Specialist Centre for Interaction, this investment for the new Bexley Transitional Learning Centre will act as a catalyst to support next generation learning and equip young people in the Borough with the complex skills needed for the 21st Century. The Royal Borough of Greenwich is seeking to accommodate up to 30 SEN&D young adult learners and 45 supporting staff and these

learners will have a wide range and varying complexity of both needs and skills

Following Council approval of the Stage 2 design at the end of December 2025, the team commenced RIBA Stage 3 in January 2026.

Purpose of the Report

This report has been prepared to summarise the RIBA Stage 3 information including the current brief, consultations, design principles, technical summaries, current project strategies and the proposed design.

The key priorities for RIBA Stage 3 have been to:

- Develop the RIBA Stage 2 scheme to firm up approaches to design, layout, project strategies and apply site analysis and site strategies to the preferred master-plan design and concept technical designs.
- Engage with the LPA to help inform the design approach, strategies and the design ideas.
- Identify additional surveys, studies, assessments required to support the planning process, technical design, and design development.
- Develop the proposed scheme to allow the client to instruct the scheme to a planning application.

Structure of the Report

The report is structured in a way to provide a concise combined summary of all the design, planning and technical work-streams into one report document. Where appropriate reference is made to additional documents that have been developed during Stage 3.

The report is divided into four main sections, which each having their own introduction/summary.

The initial sections provide a summary of the site, the key principles and objectives and approach to the planning application, The subsequent sections cover the design and technical elements of the project.

The report concludes with recommendations and next steps.



3D Aerial View

2.0 Existing Site.

Existing Site__

The existing buildings on the Development Site that were previously used for environmental learning for young people are derelict and no longer fit for purpose and include: undersized classrooms; woefully inadequate toilet provisions; and limited external recreational facilities, which impedes learning and limits the educational “offer” for learners with special educational needs and disabilities.

A full “rebuild option” for the existing and previously named ‘Environmental Learning Centre’ was felt to be the only proactively economic choice because of the insurmountable complexities involved in trying to alter/ extend the existing buildings on site.

The existing & long-term maintenance burden of these buildings meant that the Royal Borough of Greenwich would continue to provide substandard accommodation for its learners and continue to be a significant financial “drain” on the Royal Borough of Greenwich’s resources if not rebuilt to current high quality standards.

As a Specialist Centre for Interaction, this investment for the new Bexley Transitional Learning Centre will act as a catalyst to support next generation learning and equip young people in the Borough (and potentially beyond) with the complex skills needed for the 21st Century.

It will underpin the Borough’s aspirations for the future; place innovation & collaboration at the centre; and provide an inspirational learning environment for the SEN&D learners, staff and, potentially in the future, the local community.

The Royal Borough of Greenwich is seeking to accommodate up to 30 SEN&D young adult learners and 45 supporting staff and these learners will have a wide range and varying complexity of both needs and skills.

Project Brief

The new Centre and its grounds are therefore designed to provide a safe learning environment with the flexibility to adapt to future changes to suit the individual requirements of the learners intake from year to year.

In order to minimise any impact from additional traffic as a result of the new Centre, off road visitors only parking spaces and drop off zones for minibuses serving the young adult learners have been incorporated into the new external works designs.

The new Bexley Transitional Learning Centre will be a forward-thinking Centre of Excellence, and the Royal Borough of Greenwich believe that the proposed rebuild will act as a catalyst to support next generation learning and equip young people with the complex skills needed for the 21st Century and enable them to live independent / semi-independent lives and contribute to their local community and build on their self-esteem.

The new Bexley Transitional Learning Centre will underpin the Royal Borough of Greenwich aspirations for the future, providing an inspirational learning environment within a hub of expertise.

The new Bexley Transitional Learning Centre will also confirm the importance placed on specialist

SEN&D provision by the Royal Borough of Greenwich and recognise & help address the complex needs of some of the most vulnerable young people.

The new Bexley Transitional Learning Centre will connect sympathetically to its heavily wooded existing semi-urban location, optimising curriculum opportunities and the benefits of the existing environment & grounds - for both the learners and staff.

The new Bexley Transitional Learning Centre will also provide uplifting indoor & outdoor spaces, with logical connections & relationships to help support & nurture social interaction, healthy lifestyles and well-being, so providing a calm & ordered environments for all and, in particular, those learners on the autistic spectrum and those behavioural or organisational difficulties.



Figure 3 - Existing classrooms. Unfit for purpose

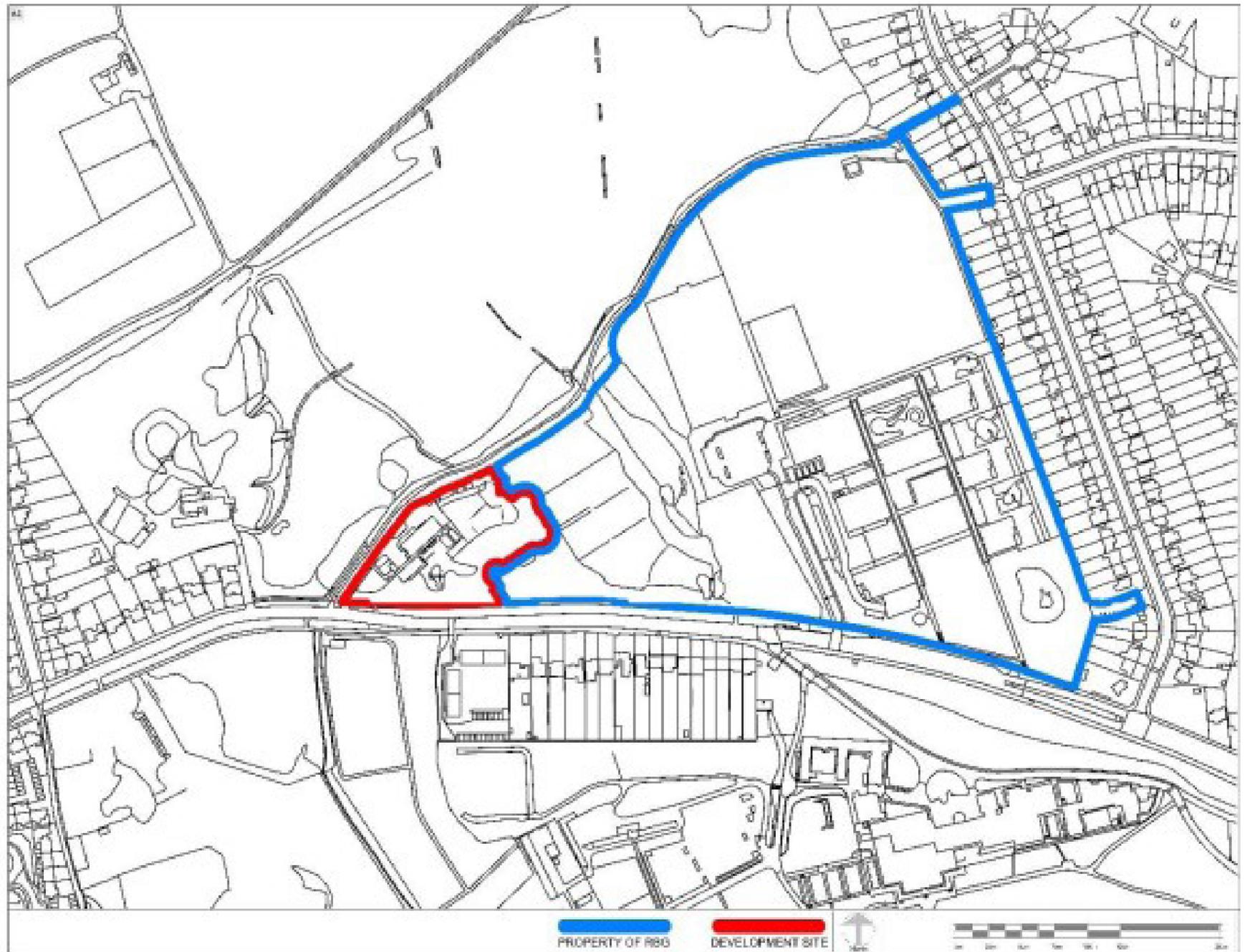
3.0 Site Location, Boundary & Overview.

Site Connectivity

The proposed Development Site is located north of Bexley Road (A210) and west of the Stationers' Crown Woods Academy. The Development Site boundary has Bexley Road to the south, Gravel Pit Lane to the north and existing currently unused woodlands to the east. Eltham Park South and Eltham Warren Golf Club are located to the north of Gravel Pit Lane. Avery Hill Park, Charlton Athletic FC Training Ground and Pippenhall Allotments are located to the south of Bexley Road.

Context

The proposed Development Site for the new Bexley Transitional Learning Centre was formerly known as The Wide Horizons Environment Centre and provided outdoor learning and sensory educational & therapy services for young people with learning disabilities as well as autism spectrum disorders (ASD), forming part of the Royal Borough of Greenwich's local Special Educational Needs and Disability (SEN&D) provision. The Wide Horizons Environment Centre closed in 2018 and has lain vacant since.



View of Site from Bexley Road

4.0 Opportunities & Constraints.

Opportunities

Woodland setting away from the main road provides a discreet location for the new building.

More text to follow.....

Constraints

Current planning application prevents significant changes to the building in terms of siting, overall size and height.

More text to follow.....



Figure 1 - Aerial photograph of site location - proposed works within this Application are highlighted in red



Figure 2 - Aerial photograph of site location - proposed works within this Application are highlighted in red

5.0 Design Development.

5.0 Design Development.

Value Engineering Proposal

This scheme originates from a previous scheme designed by Frankham Architects that achieved planning approval in 2024. However, as this scheme was considerable over budget some value engineering options were investigated that unfortunately still did not meet the required cost envelope.

Pozzoni Architects were therefore approached in September 2025 to carry out a comprehensive value engineering assessment with a new perspective. The aim was to look into options that would considerably reduce the costs by simplifying the plan, facade design / fenestration and omitting the perimeter building overhang to come up with an affordable solution to move forward.

As the building had already achieved planning approval, key aspects of the design such as siting, massing and site access had to remain unaffected.

Our proposal also suggested omitting the central octagonal courtyard that although was quite a distinctive feature, in reality would be quite expensive to construct. As part of this removal, we also took the opportunity to reduce the length of the building to further assist in reducing build costs.

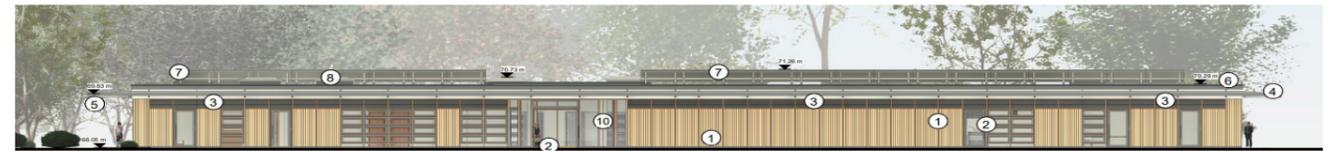
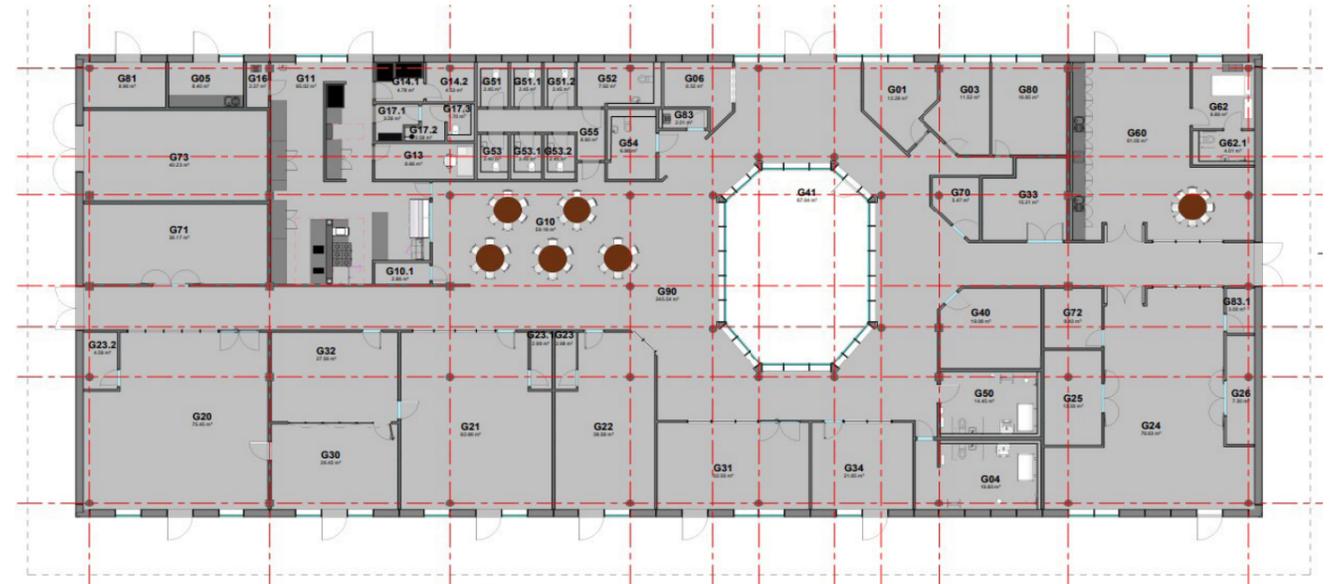
In terms of materiality, the vertical timber cladding was retained at both ends of the building, but the longer facades would be amended to a good quality buff coloured facing brick that would complement the buildings natural setting.

Although our VE proposal was successful in bringing down costs in order to achieve an affordable building, there were still a number of inherent issues on the original design such as deep teaching spaces in which it would be difficult to achieve the required levels of daylighting and a lack of flexibility.

Following meetings with the Royal Borough of Greenwich Children Services it became apparent that perhaps a more drastic re-design would be required to re-plan the building, but to still respect as far as possible the planning approved scheme.

pozzoni

BEXLEY TRANSITIONAL LEARNING CENTRE (TLC)
 VALUE ENGINEERING ASSESSMENT for GALLIFORD TRY SOUTH
 Doc Ref: P6356/VE_Assessment
 Revision: P01
 Date of Issue: Sept 2025



5.0 Design Development.

Re-Designed Scheme

Pozzoni then presented the revised plan (see opposite) which retained the simple rectangular form, but located majority of learning spaces on the south side of the building and the dining to the SW corner, maximising the opportunity for links to the external landscaping.

The room depths of the new plan were better proportioned to achieve the required levels of daylight, whilst more flexible vocation spaces were added along with more generous staff work and social spaces. However, as the new plan maximised flexibility, it was also very efficient bringing the building floor area down even further. The building was narrower but longer than the previous scheme.

More text to follow.....



6.0 Functional Considerations & Functional Areas.

Functional Considerations

6.1 Schedule of Accommodation.

BEXLEY ROAD TRANSITIONAL LEARNING CENTRE
Schedule of Accommodation
BTLC-POZ-ZZ-XX-SA-A-005000 Rev P01

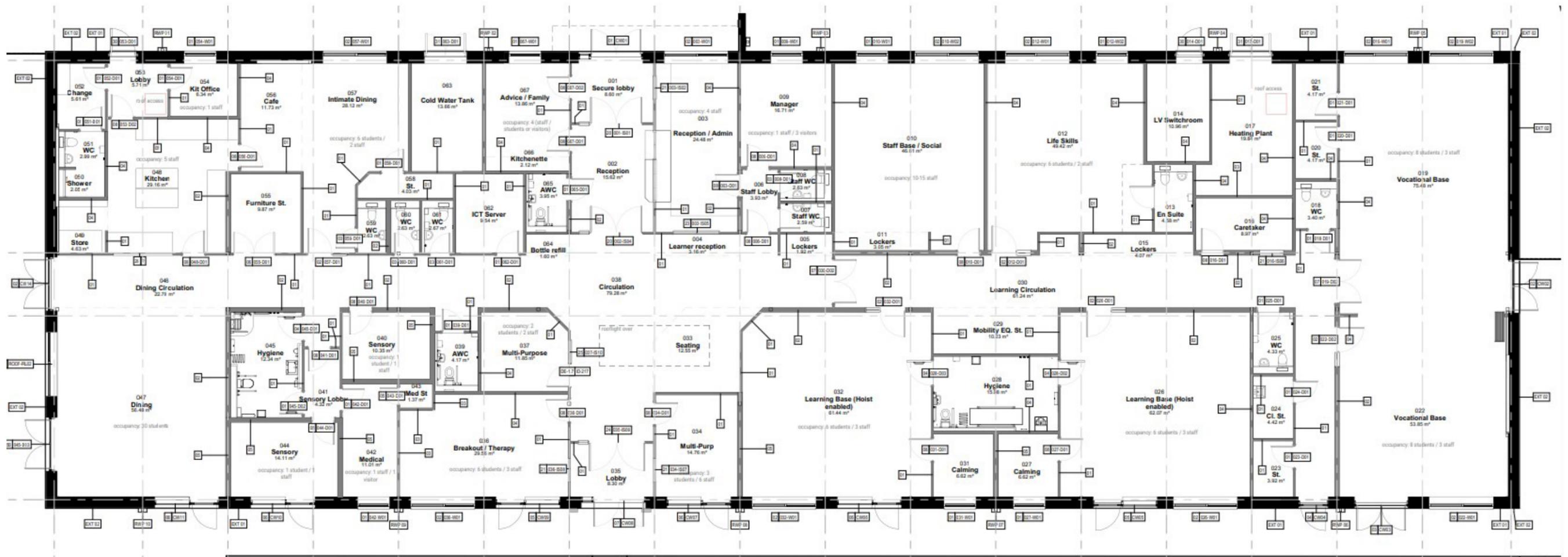
Number	Name	Department	Occupancy	Area
1	Secure lobby	Circulation		8.60 m ²
2	Reception	Circulation		15.55 m ²
4	Learner reception	Circulation		3.16 m ²
5	Lockers	Circulation		1.92 m ²
6	Staff Lobby	Circulation		3.93 m ²
11	Lockers	Circulation		3.05 m ²
15	Lockers	Circulation		4.07 m ²
015B	Lockers	Circulation		1.44 m ²
30	Learning Circulation	Circulation		61.24 m ²
33	Seating	Circulation	10	12.55 m ²
35	Lobby	Circulation		8.18 m ²
38	Circulation	Circulation		78.92 m ²
41	Sensory Lobby	Circulation		4.32 m ²
64	Bottle refill	Circulation		1.60 m ²
3	Reception / Admin	Core	4	24.48 m ²
7	Staff WC	Core		2.59 m ²
8	Staff WC	Core		2.63 m ²
9	Manager	Core	4	16.71 m ²
10	Staff Base / Social	Core	10	46.61 m ²
16	Caretaker	Core	1	8.97 m ²
18	WC	Core		3.40 m ²
24	Cl. St.	Core		4.42 m ²
25	WC	Core		4.33 m ²
39	AWC	Core		4.17 m ²
46	Dining Circulation	Core		22.70 m ²
47	Dining	Core	30	56.48 m ²
48	Kitchen	Core	5	29.16 m ²
49	Store	Core		4.63 m ²
50	Kit. Shower	Core		2.05 m ²
51	WC	Core		2.99 m ²
52	Change	Core		5.61 m ²
53	Lobby	Core		5.71 m ²
54	Kit Office	Core	1	6.34 m ²
55	Furniture St.	Core		9.87 m ²
59	WC	Core		2.63 m ²
60	WC	Core		2.63 m ²
61	WC	Core		2.67 m ²
62	ICT Server	Core	1	9.54 m ²
65	AWC	Core		3.95 m ²
66	Kitchenette	Core		2.12 m ²
67	Advice / Family	Core	4	13.86 m ²
26	Learning Base (Hoist enabled)	Learning	9	62.07 m ²
27	Calming	Learning		6.62 m ²
28	Hygiene	Learning		15.69 m ²
29	Mobility EQ. St.	Learning		10.23 m ²
31	Calming	Learning		6.62 m ²
32	Learning Base (Hoist enabled)	Learning	9	61.44 m ²

14	LV Switchroom	Non net		10.96 m ²
17	Heating Plant	Non net		19.84 m ²
63	Cold Water Tank	Non net		13.66 m ²
12	Life Skills	Practical	12	49.42 m ²
13	En Suite	Practical		4.58 m ²
19	Vocational Base	Practical	9 (25)	75.48 m ²
20	St.	Practical		4.17 m ²
21	St.	Practical		4.17 m ²
22	Vocational Base	Practical	9 (25)	53.85 m ²
23	St.	Practical		3.92 m ²
56	Cafe	Practical	2	11.73 m ²
57	Intimate Dining	Practical	8	28.12 m ²
58	St.	Practical		4.03 m ²
34	Multi-Purp	Sensory	9	14.76 m ²
36	Breakout / Therapy	Sensory	9	29.33 m ²
37	Multi-Purpose	Sensory	4	12.02 m ²
40	Sensory	Sensory	2	10.35 m ²
42	Medical	Sensory	2	11.01 m ²
43	Med St	Sensory		1.37 m ²
44	Sensory	Sensory	4	14.11 m ²
45	Hygiene / Cha. Plac.	Sensory		12.34 m ²
68				
TOTAL NET INTERNAL FLOOR AREA				1061.68 m²
<i>partitions</i>				54.32 m ²
TOTAL GROSS INTERNAL FLOOR AREA				1116 m²

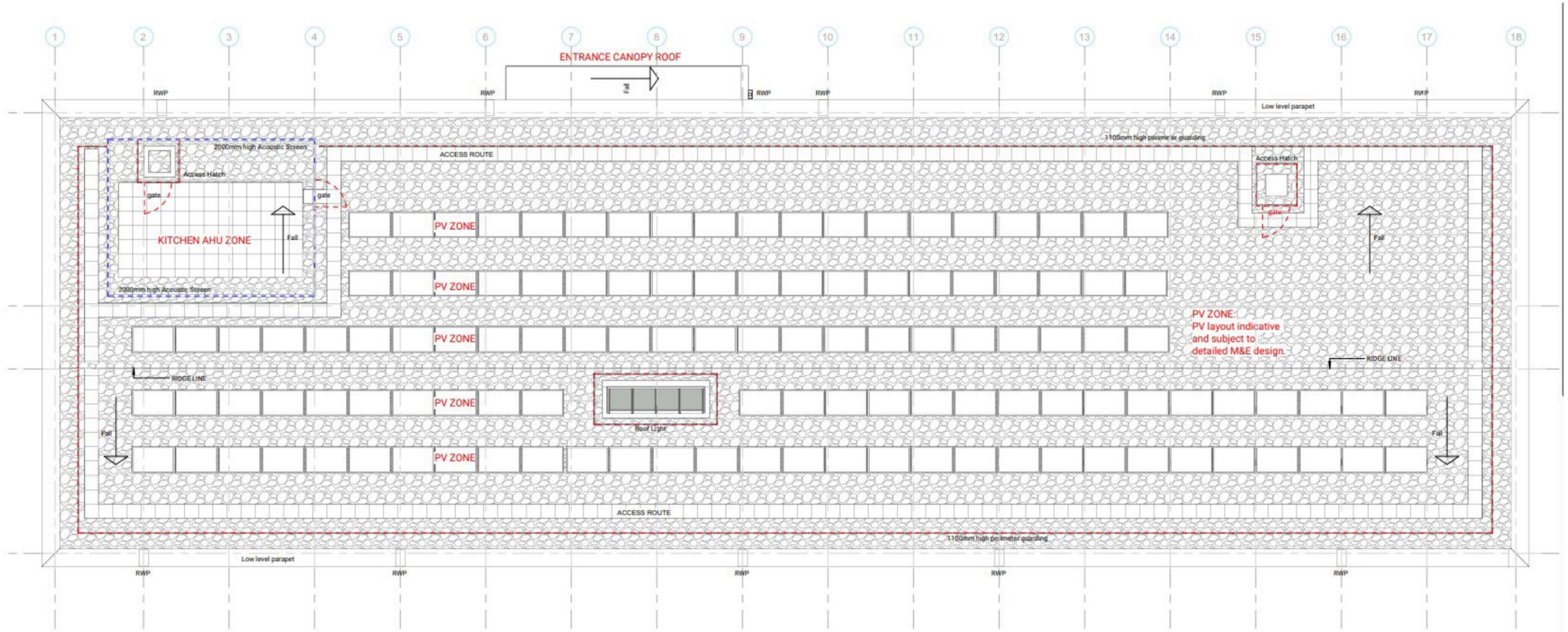
6.2 Access Control and Security.

7.0 Architectural Proposals.

7.1 Ground Floor GA Plan.



7.2 Roof Plan.



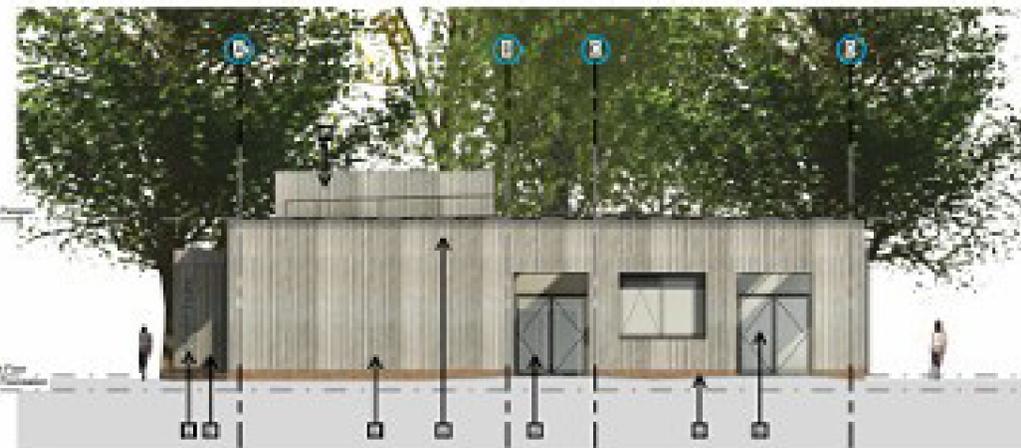
7.3 Elevations.



1 | North Elevation (Planning)
1:100



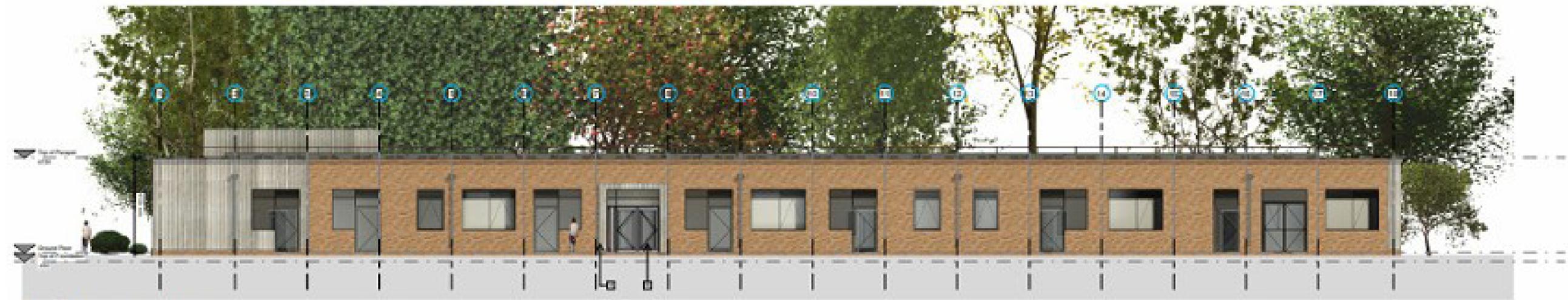
3 | East Elevation (Planning)
1:100



4 | West Elevation (Planning)
1:100

LEGEND

- 1. Facing Brick - buff multi tone (ref: TBC)
- 2. Engineering Brick (dark) (colour: grey TBC)
- 3. Vertical Timber Cladding - open TBC
- 4. PPC aluminium clad entrance doors integrated with timber wall system (colour:RAL 7032 TBC)
- 5. PPC aluminium framed window / glazed door units (colour:RAL 7032 TBC)
- 6. PPC metal clad door with floured panel (colour:RAL 7032 TBC)
- 7. Main Entrance canopy with feature fit wall - vertical timber cladding to vertical elements in craft and house open TBC
- 8. PPC aluminium downpipes with hopper heads (colour: Light Grey TBC)
- 9. PPC aluminium louvre unit (colour:RAL 7032 TBC)
- 10. PPC metal parapet fascia / capping to aluminium parapet and vertical edges (colour:RAL 7032)
- 11. Secondary Entrance barboard - timber cladding - open TBC
- 12. Defined zones for building signage (Final design and text TBC)
- 13. Vertical Timber Plant boxes



2 | South Elevation (Planning)
1:100

7.4 Materiality.

External Facade

Careful consideration has been given to the design of the new Centre building, so as to create a distinctive contemporary character with a sense of place and positive well-being, which is largely screened from the public view.

The proposed new Centre building would be contemporary in design with the primary external materials being brick, timber and glass.

It is also proposed the outer smaller buildings will be clear glass and timber.

The proposed new Centre building will have an intensively planted green grassed roof and the building envelope will be wrapped in vertical timber cladding (English larch or English Sweet Chestnut), and a sympathetic buff coloured facing brick to help the building integrate into its natural surroundings.

An external canopy to the main entrance will provide rain protection to people using the new building all year round.

A Townscape & Visual Impact Appraisal has been prepared to illustrate various separate strategic viewpoints that surround the new Bexley Transitional Learning Centre, and this is submitted as part of the original Planning Application.

Mature planting has been retained, meaning the developed site provides natural screening of much of the proposed new building from public view from Bexley Road during most of the year, with only glimpsed views of the buildings during winter months.

Given the low height of the new Centre building and dense vegetation, it is considered that the visual impact of the building will be negligible.



7.5 Outline Material Specification.

Outline Specification

BUILDING STRUCTURE

These notes should be read in conjunction with the Structural Engineer's drawings and details

Overview - Steel frame to specialist's design incorporating 160mm thick composite roof deck laid flat (roof falls to be achieved via tapered insulation).

Generally, concrete ground beam and piled foundations under loadbearing walls to structural engineer's design, fully reinforced to support the masonry outer leaf. 350mm floor will be ground bearing reinforced concrete slab with 75mm Kingspan K103 insulation board under slab throughout whole of ground floor slab area to meet U-value requirement.

DPM laid under slab on sand blinding. NOTE - GROUND GAS PROTECTION MEASURES: SITE IS CLASSIFIED AS CS2, THEREFORE PROTECTION MEASURES REQUIRED IN ACCORDANCE WITH BS 8485: 2015+A1:2019.

Hygiene Room and changing shower areas slabs' dropped by 150mm with 40mm fall to gully 'top' leaving a screed depth from gully of 90mm allowing for proprietary quick drying levelling screed (unbonded type). ARDEX WPC flexible rapid drying and setting waterproof coating or similar approved applied in accordance with manufacturers details and recommendations.

BUILDING ENVELOPE

These notes should be read in conjunction with the Architect's, Engineer's, Acoustician's and Environmental drawings and details

External Envelope:

Targeted U-values Wall: 0.15 W/m²K

Ground Floor: 0.12 W/m²K

Roof: 0.12 W/m²K

Doors & Windows: 1.1 W/m²K

G-Value: 0.38 (LT 72%)

Air tightness: 3m³/h.m²

External Wall

Type A - Single skin standard buff coloured facing brickwork laid stretcher bond with 'bucket handle' mortar joints tied to 200mm structural infill SFS framing system to specialist's design with CP sheathing board, breather membrane and VCL to maintain air tightness (refer to thermal and condensation report). PPC cills to windows where set back circa 80mm from outer face of blockwork leaf. 50mm clear cavity with 100mm Knauf Rocksilk® RainScreen Slab insulation with stainless steel masonry restraint channels and wall ties to Structural Engineers design with fire cavity barriers where required. SFS frame filled with 200mm Knauf OmniFit® Slab 35 mineral wool insulation. Insulation build-ups suit U-value requirements. Brick and mortar colour selections all TBC (1No. brick colour, 1No. mortar colour). All bricks to be frost resistant where required.

Type B - Vertical Larch timber cladding by Russwood Vertical 21mmx90mm larch timber cladding profiles. Fixed to aluminium outer panels via retaining screws at 300mm vertical centres on 42x42 horizontal battens installed and fixed at max 600mm to 45x20mm vertical counter battens installed and fixed at max 600mm to NV6 NVELOPE brackets. 200mm structural infill SFS framing system with CP sheathing board, breather membrane and VCL to maintain air tightness (refer to thermal and condensation report). Knauf Insulation Rocksilk® RainScreen Slab tightly fitted around 'helping hand' brackets with 50mm clear ventilated cavity, SFS frame filled with 200mm Knauf OmniFit® Slab 35 mineral wool insulation.

Windows / Curtain Walling

PPC aluminium thermally broken window system with double glazed solar control insulation units and associated performance louvres to suit ventilation requirements. Any non-active louvre locations to be insulated with 25mm mineral wool with steel blanking panel, colour to match frame. Glazing compliant with BS 6262. Window frame unit and integrated louvre colours RAL TBC. Teleflex to be provided to all high-level openings above 1500mm or with benching in front. External window and door reveal depth 80mm min.

External Solid & Glazed Doors

PPC aluminium thermally broken commercial door system, double glazed insulating units incorporating glazed, solid aluminium or louvred fanlights as shown on elevations. Colour to match windows and curtain walling. All doors shall adhere to the principle of PAS 24: Product Assessment Specification produced by BSI for enhanced security performance of doors or shall be independently certified to the recognised security standard 'Loss Prevention Standard LPS1175 Security rating 2'.

Manifestation to be provided on all full height external doors and screens in halls with square 50x50mm milky white dots.

Access control by 'mag locks' with card readers to external doors as the MEP Access Control / Security Strategy drawing.

Outward opening doors to be provided as a means of securing them in open position (low shoot bolt into a ground fixed and concealed socket / cabin hook and eye latch / etc).

Doors to be fully glazed (Max glazing bottom line of 450mm).

Principal entrance doors have extra requirements - power operated with hold-open facility, linked to fire alarm and with emergency manual override. Letterbox required and to be anti-arson.

Louvres PPC aluminium vent louvres system to meet MEP performance classification. Required airflow rates, pressure drops and any other performance requirements to suit ventilation requirements. Colour to match external window and doors. Any non-active louvres or sections of louvre not connected to duct to receive 25mm mineral wool insulation to rear to maintain thermal integrity.

External Steel Doors

PPC solid or louvred steel door sets to suit required locations, i.e., Plantrooms to specialist's design. Colour to match windows and curtain walling. All doors shall adhere to the principle of PAS 24.

Roof (Main Building)

BAUDER BIOSOLAR roof comprising nom. 1:40 / 1:31 pitch formed by tapered PIR insulation with warm roof bitumen over, including Bauder waterproofing system, protection mat, filter fleece, DSE40 drainage board topped with extensive / biodiverse substrate (tapered insulation min 180mm thick average thickness), as recommended by roofing system manufacturer. Concrete paving slabs to plant enclosure / access routes as indicated on roof plan. PV provided on roof as indicated on roof plan on PV module mounting rails by roofing manufacturer (full extent / area TBC by MEP Consultant).

Roof Drainage

Roofs drained via external gravity fed PPC aluminium rainwater downpipes / hopper heads (Light Grey - RAL TBC) to specialist's design. All downpipes installed to prevent climbing and outlets to ensure protection from blockages and retention of debris.

Roof Parapets (low level)

60mm PIR insulation mechanically fixed to concrete upstands with roof membrane finish applied. Upstand 'top' to include 18mm OSB with 60mm insulation over with exact detail to specialist's design. PPC aluminium capping with nom. 150mm deep 'frontage' & associated galvanised steel capping support bracket to suit overall wall thicknesses, capping colour RAL 7024.

Rooflights

Velux Modular Skylight Longlight system or similar approved built off suitable upstands to specialist's design. Overall size as indicated on roof plan with quadruple glazed panel configurations as shown. Proposed pitch of 5 degrees with 35mm maximum glazing thickness. Frame RAL 7016 Anthracite grey (White internally). All glazing to be in accordance with approved Document Part K. 1100mm high guard rail provided around rooflights.

Blinds not required to roof light as in non-teaching area.

7.5 Outline Material Specification.

Fixed Ladder / Roof Access Hatch

BILCO E-50TB 915x915mm structural opening or similar approved, aluminium wall fixed ladder with safety cage & guard rail to suit nom. roof height to specialist's design. Primary and secondary hatched indicated on roof plan.

Building External Canopy

Feature steel frame canopy with vertical timber boarded finish to specialist's design to match timber cladding on building. Canopy supported with ground fixed column, with rainwater pipe as shown to drain from single ply membrane roof. Membrane dressed into brickwork above.

Acoustic Screen (Roof) 2000mm high vertical timber screen on steel subframe fixed to roof deck at base via steel brackets to structural engineer's design.

External Signage Built-up brushed stainless-steel signage with 60mm returns with rear studs to give offset from facade to specialist's design. Detail design of signage logo TBC by school. Locations as indicated on elevations / plans.

BUILDING INTERIOR

These notes should be read in conjunction with the Architect's, Environmental Engineer's, FF&E, Acoustician's and ICT drawings and details

Internal Walls

Metal stud and plasterboard lining system (British Gypsum or similar approved) to meet the required fire, robustness, impact, and acoustic criteria for the specific room / usage type. Moisture resistant boards to areas of high humidity. Plywood pattresses to be provided for fixing of wall mounted items. Refer to wall types GA plan / key.

Internal partitions robustness requirements: Severe duty: all areas of SEND.

Tests as per BS 5234-2 annexes A - F on whole partition

assemblies, not individual components. tests will need to be provided to Employer.

Crowd-loading: This needs to be risk assessed (is there a risk of failure due to crowd loading). EG: double height partitions or t acting as a barrier or balustrade or parapet: if there IS a risk, min. Crowd loading of 1.5kN per meter is required (BS 5234-2 annex G).

Kitchen servery double thickness fire rated dwarf wall to specialist's design. 850mm counter height / 1260mm servery opening height with allowance for steelwork goalpost support structure to suit opening (exact width TBC). PPC aluminium roller shutters to suit fire requirements at both Severy entrance and above counter. RAL from standard colour range.

Suspended Tiled Ceilings

Fully demountable lay in grid 600x600mm mineral fibre ceiling tiles (Ecophon Gedina A or similar approved to all front of house areas / Ecophon Advantage A to back of house areas) in a white suspended metal grid system with fully integrated MEP provision.

Moisture resistant tiles to wet and high humidity areas (Ecophon Hygiene Performance™ Plus A or similar approved)

All tiles in student areas to be clipped.

Ecophon Extra bass pads or similar approved to be included above ceiling tiles in all larger teaching spaces (classrooms / group rooms / practical rooms) as recommended by acoustic consultant.

Suspended Plasterboard Ceilings

Fully concealed grid and ceiling lining (British Gypsum or similar approved) to create a seamless monolithic ceiling appearance. Only moisture resistant type required within Hygiene Room / sanitary areas. Also required to solid margins to rooflights and any bulkheads at changes in ceiling height or at window heads if required. Ceiling fire barriers as indicated on ceiling plans.

Doors and Ironmongery

Solid core doors (min. 44mm thick) tested to severe duty performance rating DD171 with laminate finish and semi-concealed matching lipping's on all edges, compliant with SSLD 7 complete with three hinges and deadlock so that rooms can be secured when unoccupied. All doors and glazed side screens (where required) to sit within softwood frames. Glazed side screens to include integral venetian blinds for privacy. Allow for a 10mm door undercut throughout (max. 3mm undercut for fire doors) as typically floor finishes do not exceed this figure in any area then pack frames up slightly if required during installation. Doors & frames complete with Lorient intumescent seals or similar approved to achieve required fire ratings. Laminate finish in Formica or similar approved – colour ref TBC – make allowance for 2x colours that differentiate between staff and student rooms.

SAA ironmongery and statutory signage appropriate to door use. Refer to separate Ironmongery Schedule for solid internal doors prepared by specialist. Finger protection provided to all circulation, WC, hall, dining and teaching room doors - TGS Shepherds Fingershield - White Door Set 1.96m FG3/WHITE or similar approved.

All door hinges shall be designed to eliminate the potential for finger trapping and shall be self-closing (maximum 5mm gaps).

Any inward opening WC doors shall be able to open outwards through use of an emergency releasable door hinge or a lift-off facility to facilitate emergency assistance to someone who has fallen against the door inside the cubicle (blocking the door from opening).

Higher toughened glass requirement to glazed side screens – see note below on glazed screens.

Door clear widths: Clear opening widths to suit primary SEND users as per design drawings and technical annex requirements.

850mm generally and 925mm for rooms for predominantly non-ambulant pupils (such as hygiene

rooms and 2 hoist enabled learning bases - may require assistive opening devices). 1650mm to all double doors (825mm per leaf).

Internal Joinery

Painted formaldehyde free MDF skirting, architraves, window boards and internal surrounds. 32mm SW lining door frames to suit wall widths with 44x15mm SW planted stops. 44x18mm MDF preformed architraves. 100x15mm MDF square edge skirting boards. 18mm thick. MDF round edge cill board.

Reception Counter & Glazed Screen

Glazed, lockable sliding screens within softwood frame with laminate finish. Circulation side shelf to suit writing and wheelchair user heights. All in accordance with BS 8300:2009+A1:2010 (11.1.3 Counter and reception desk heights for visitors / customers).

Countertop to be finished in wood veneer or laminate (Formica) from standard colour ranges.

Glazed Screens

Generally: Glazed screens to sit within softwood frames required to: All teaching and learning spaces, staff work rooms, offices, meeting rooms (not interview).

Glazed screens – 600mm wide x 1350mm high adjacent to doorset with base set at 750mm).

The specification of glass to internal glazed screens and vision panels to doorsets shall be based on an assessment carried out in accordance with Figure 1 of BS 6262-1 to determine the correct glass for application and area, but subject to a default minimum of: - Safety glass to all critical locations as defined in AD K, K4 Section 5 and to all locations in Special Schools/Special Colleges and AP - In Special Schools/Special Colleges and AP to BS EN 356 toughened (tempered) safety glass, resistance to manual attack Category P1A, where identified to meet the requirements of the Security Risk Assessment and Project Brief due to anticipated level of physical abuse/attack.

7.5 Outline Material Specification.

WC's IPS Framing 'Lift Off' System / Cubicles

12-20mm waterproof solid / moisture resistant laminate on manufactured board with an ABS (or similar) edging; recycled plastic, or a material which can be demonstrated to perform equally well.

Any cubicles / dividers / doors to be full height (2400mm) in all areas.

Allow for full height IPS system throughout, nom. 2400mm height with selection of fixed and removal panels (lockable with a master key and have tamper-proof fittings).

Sanitaryware Fittings

All in vitreous China. WC IPS BACK TO WALL ASSEMBLY. WALL FIXED WASH TROUGH ASSEMBLY. DOC M Rimless BTW Pack, Left/Right, Concealed Fixings, (grab rails & seat to suitable contrast IPS). High Back Cleaner Sink and Grating (White). Hygiene room pack to include peninsular accessible WC with suitable contrast IPS, shower, shower curtain and wash hand basin. Wash troughs and / or wash hand basins (white) as shown on plans to toilet areas generally.

Solar Control

Where designed solar control glazing will be provided to reduce heat gain and solar glare. Any remaining glare will be controlled using blinds operated by removable cranked arm fixed in accordance with safety anti-choking requirements. Refer to Environmental Design Strategy for further information.

Floor Finishes

Vinyl floor covering throughout (Tarkett or similar approved) to suit room use type with alternative treatment locally within rooms as required. Coved formed skirtings to all vinyl wet areas including toilets, hygiene rooms and kitchen. Barrier matting provided at all entrances except in plant rooms. Transitions between differing floor finishes to have appropriate stainless steel Gradus threshold / trim. Refer to Floor Finishes drawing.

Wall Finishes

Diamond Eggshell finish to suit room use type; Dulux Trade (or similar approved). All colours TBC by client. Refer to Wall Finishes drawing – making allowance for feature walls where indicated).

PVC hygienic wall cladding in wet areas - full height (Whiterock or similar approved), above wash troughs/sinks where required (300mm high), to fitted units in classrooms (300mm high) and around hand driers with any jointing trims in matching colour. Colour TBC from Satins range.

1500mm high PVC corner protection to exposed corners in circulation areas, toilets and classrooms.

Protection / Bump rails (Ultra 60 Rail from Yeomans Shield or similar – 75mm wide) located at mid and low level to appliance bay.

Stacking Wall

Folding stacking wall to training suite – 'Movawall Type 200' or similar approved to fold and slide to one side only. Pass door to be included. Colour – White TBC.

FF&E

FF&E and other loose furniture provided in a variety of forms and finishes to suit the usage of each room. Refer to separate consultant full GA plan & room specific layouts as appropriate.

Balustrading

Galvanised steel tubular handrail (nom. 1100mm height) with painted mild steel vertical bar panels and flat top rail balustrade guarding system painted mild steel to specialist's design.. HORIZONTAL UNIFORMLY DISTRIBUTED LINE LOAD REQUIREMENT OF 0.74kN/m.

Acoustic Wall Panels:

To Larger Learning spaces: Class A acoustic wall panels (e.g. Ecophon Akusto Super) to two adjacent walls (i.e. two non-parallel walls). Wall panels should ideally be situated as close to head height as practically possible. Colour TBC.

Classrooms: Allow areas of Class A acoustic wall panels as indicated on acoustic strategy plan (e.g. Ecophon Akusto Super) to as recommended by acoustic consultant..

Access Stairs / Ladders: N/A

Lift: N/A

8.0 Access, Cleaning & Maintenance Strategy.

1. External Window Access & Maintenance

The cleaning of external window surfaces from inside the building will not be possible. Since the HSE frown upon the use of ladders for anything but short duration work then ladders should not be considered as an option.

As the building is single-story, there will be no need to reach high-level windows on other stories, although a long reach pole system still may apply to windows at ground level if required.

External windows can be reached and washed from the ground using the following method.

- Long reach water-fed pole systems

(Ref: HSE Questions and Answers Brief for the construction industry on the Work at Height Regulations 2005).

1.1 Long Reach Poles

1.1.1 BS 8213-1:2004 and the Work at Height Regulations gives preference to the use of long-pole systems for cleaning glass, to avoid work at height.

1.1.2 No windows have been identified that cannot be reached via a water-fed pole, refer to Building Elevations for further information.

1.1.3 The top of the highest window, curtain wall or cladding from Ground Floor level is a maximum height of 4.0m.

1.1.4 The length of the pole necessary to clean the glazing from Ground Floor level would be in the region of 6m. This operation must only be undertaken by competent and fully trained operators. Guidance has been indicated in Appendix 1.

1.1.5 Water back packs will be required for areas that are not close to the source of water. Provision of water sources externally to be reviewed as part of stage 3 coordination.

Conclusion:

Long-pole systems are the preferred method for cleaning windows externally, avoiding work at height. A hardstanding route is provided around the complete building perimeter.

Only competent contractors who are fully trained in the above methods shall be contracted to perform cleaning, inspection, and maintenance duties. Full and detailed method statements and risk assessments must be provided prior to any work commencing onsite.

2. Roof Access

2.1 In accordance with Eliminate, Reduce, Inform and Control (ERIC) principles or hierarchy, the building has been designed to negate the requirement for the use of fall restraint systems in carrying out routine roof maintenance. The roof mounted perimeter handrails are designed to provide edge protection when accessing the roof for maintenance purposes. Two access hatches with fixed or retractable ladders provide access to the roof. In line with the fire strategy for the building, the two access hatches are adequately separated to allow alternative routes for escape in the case of the fire.

2.2 Rainwater pipes are all externally located. For inspection and maintenance purposes, roof outlets can be accessed from on the roof (inside the perimeter guard rail), or via MEWP from the perimeter handstanding around the building.

2.3 Operatives and the centre are reminded that, where persons require roof access for any reason, this should only be allowed after a person competent to do so has assessed the risks and drawn up a full method statement and that both hatches need to be opened prior to accessing.

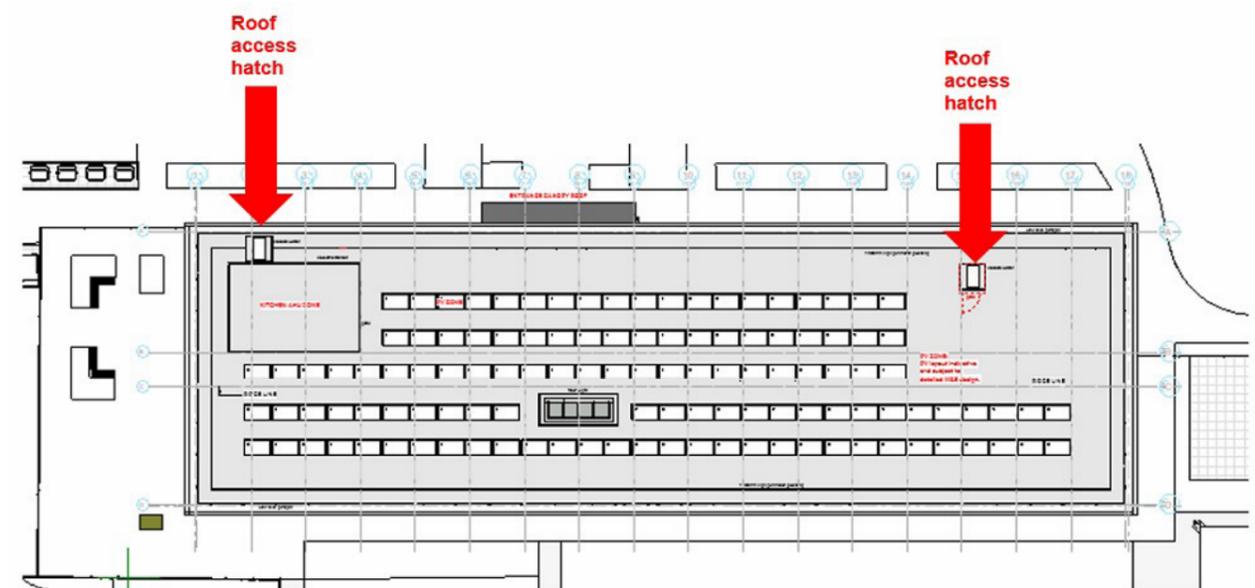
2.4 No roof lighting installed with all roof access to be undertaken during daylight hours.

2.5 Cleaning and maintenance of roof mounted photovoltaics, gutter outlets and rooflight undertaken via



the roof access hatches and fixed / retractable ladders.

2.6 An 2000mm high (open top) enclosed plant area is provided immediately above the access hatch located in the kitchen lobby to accommodate kitchen AHU, extract along with any other plant associated with the server room etc. Maintenance of these items can therefore be undertaken without accessing the outer areas of roof.



8.0 Access, Cleaning & Maintenance Strategy.



3. Glass / Cladding Maintenance / Replacement

3.1 Windows are generally internally beaded and therefore glass replacement will mostly be at ground floor level.

3.2 Larger glass panels, such as the rooflight may also require the use of vacuum lifting equipment (example images to the left). In this event an access statement should be provided by a competent subcontractor.

3.3 Reference should be made to the specialist subcontractor's information regarding replacement procedures. Full and detailed method statements and risk assessments must be provided by the maintainer before any maintenance work is undertaken.

3.4 Subject to risk assessment any glass panes that are at high level above occupied spaces should be replaced out of operational hours and the areas directly below should be cordoned off. Rooflight glass cleaning and replacement via roof access hatches and fixed / retractable ladders

4. Balustrade Maintenance / Replacement

4.1 Balustrades consist of mild steel vertical bars to avoid the need for cleaning.

5. Internal High-Level Access & Maintenance

5.1 When choosing MEWP for use inside of the building the maximum allowable floor loads must not be exceeded. For maximum permissible loads for floors refer to Section 7, Structural Loadings.

5.2 Door openings, barrier openings and maximum loading capacity will restrict the maximum width and height for mobile platforms moving within the building.

5.3 Method statements defining safe working methods must be provided before any inspection / maintenance work is undertaken

6. MEP Access & Maintenance

6.1 All light fittings can be maintained from small towers.

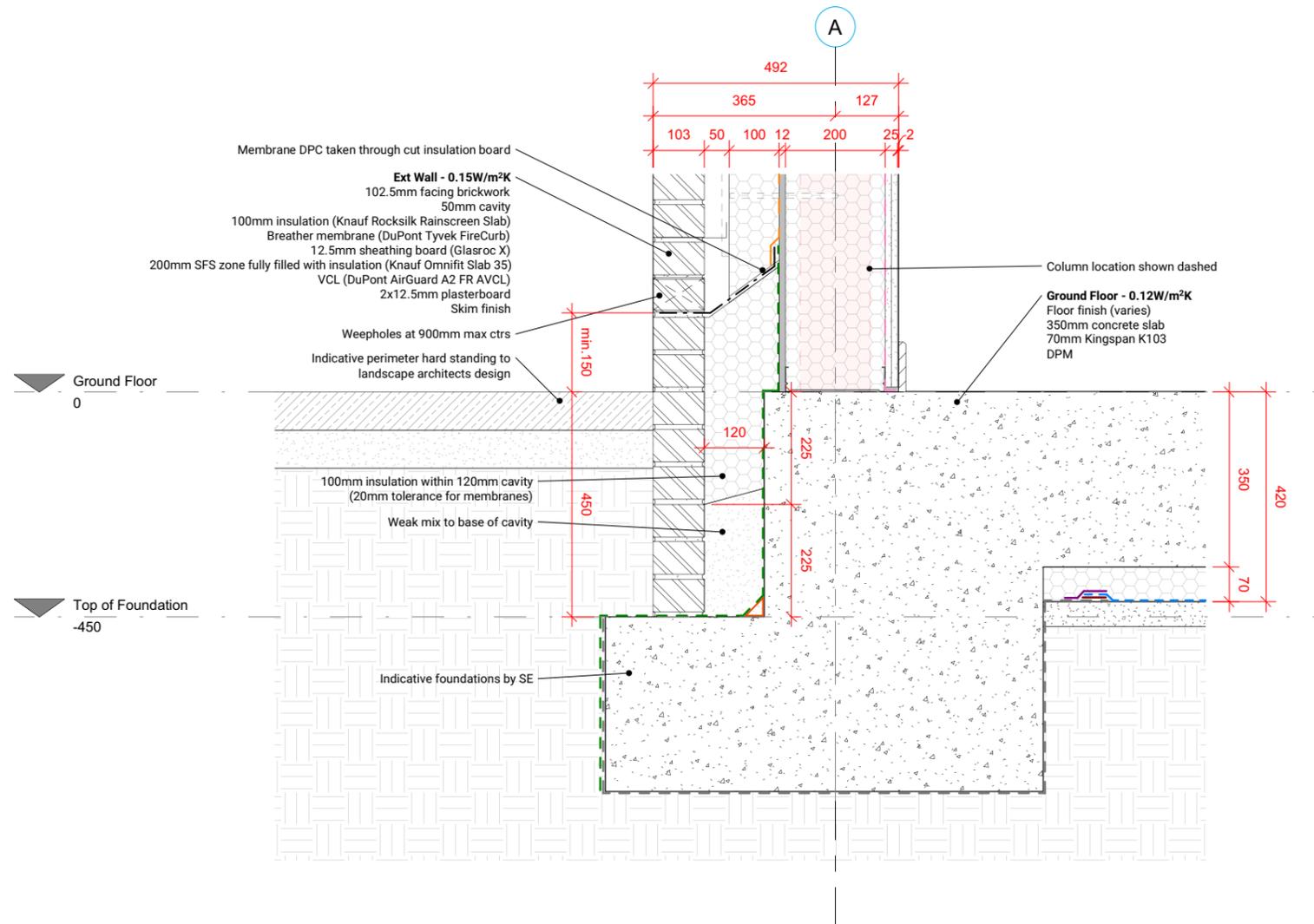
6.2 General installation is all accessible from standard steps and platforms throughout the building.

6.3 The electrical services are all mounted within the plant and store areas and again would be accessed with steps and platforms.

7. Structural Imposed Loadings

- Classrooms & Corridors 4kN/m² (includes 1kN/m² partition load)
- Roof General 0.75kN/m²
- Plant Space 7.5kN/m²
- Ceilings & Services 0.5 kN/m²

7.6 Typical Construction Arrangements.



NOTES:

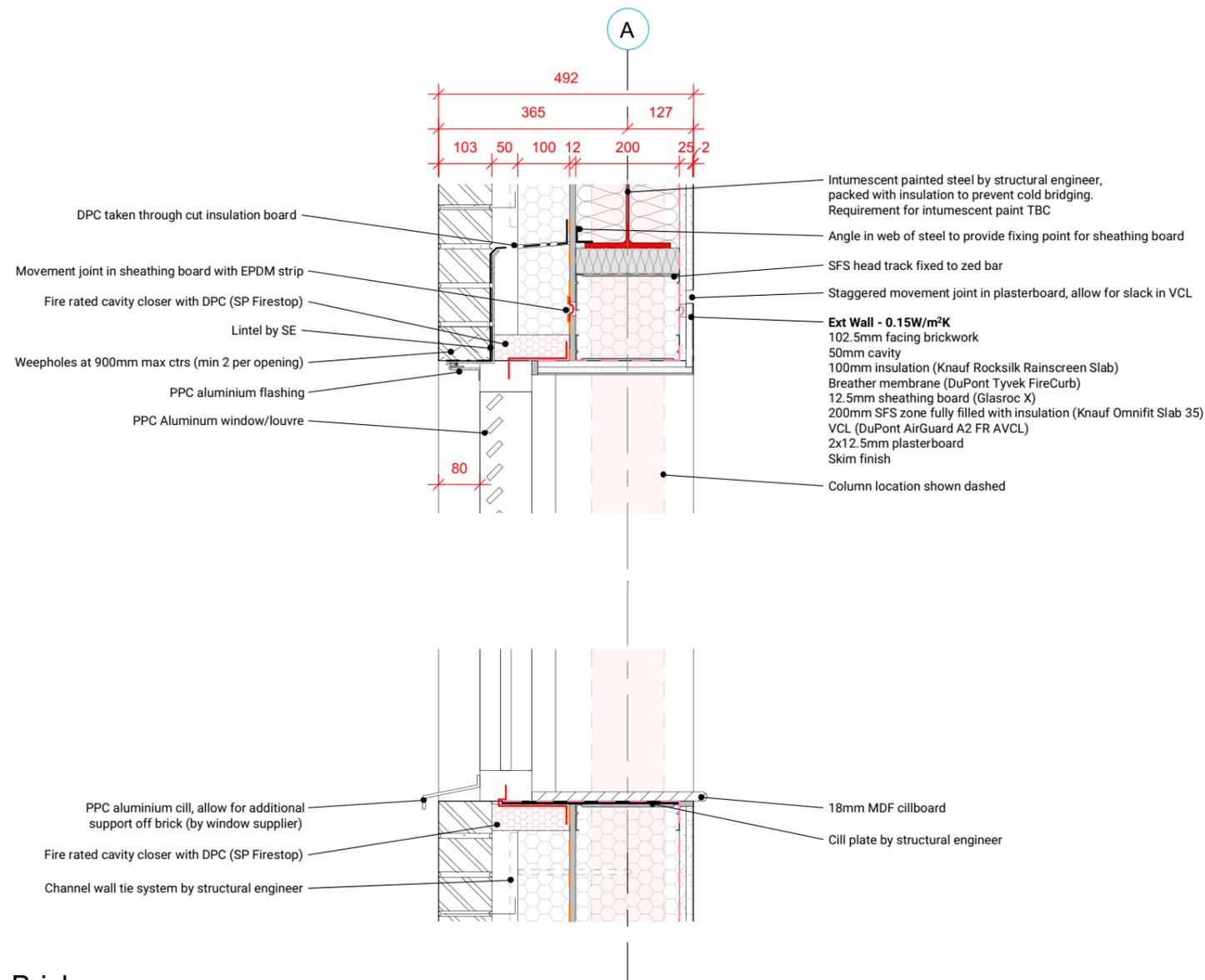
Waterproofing shown as design intent only and installation should be to manufacturers detailed instructions and specifications by an approved installer.

KEY:

- Visqueen Ultimate Gas DPC
- Visqueen Vapour Check / Barrier
- Visqueen NF60 Lap Tape
- VisqueenPro Double Sided Tape
- Visqueen NF400 Gas Barrier
- Visqueen Ultimate Geoseal
- Visqueen Gas Resistant Self Adhesive Membrane
- ▲ Visqueen Ultimate Geoseal
- DuPont Tyvek FireCurb Breather Membrane
- □ Structural Steel

1 | Wall Base - Brick
 1 : 10

7.6 Typical Construction Arrangements.

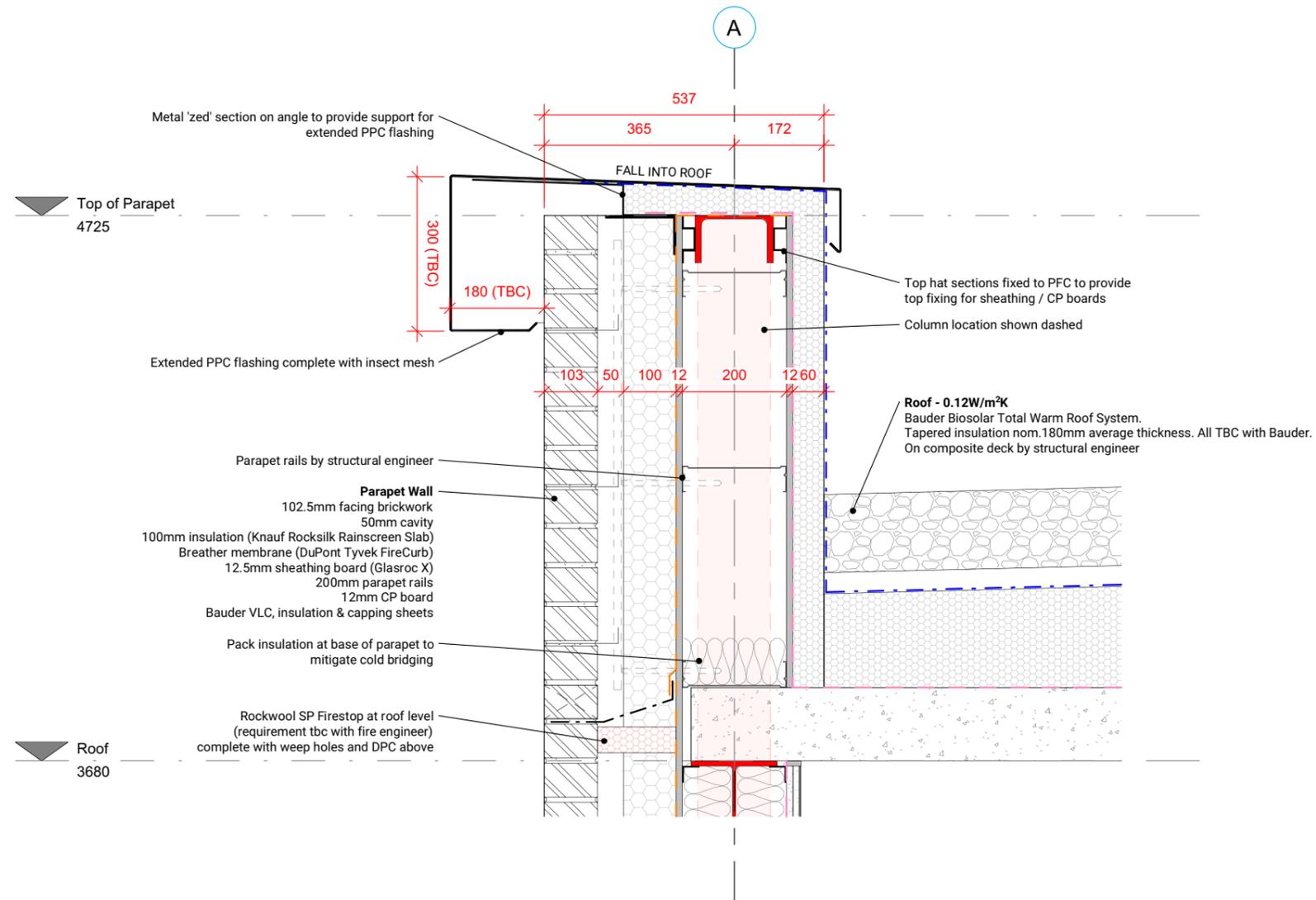


NOTES:
 Membranes shown as design intent only. Installation should be to manufacturers detailed instructions and specifications by an approved installer.

- KEY:**
- DuPont Tyvek FireCurb Breather Membrane
 - DuPont AirGuard A2 FR AVCL
 - EPDM
 - - - Visqueen Zedex CPT DPC
 - [] Structural Steel

1 | Window Cill / Head - Brick
 1 : 10

7.6 Typical Construction Arrangements.



NOTES:

Membranes shown as design intent only. Installation should be to manufacturers detailed instructions and specifications by an approved installer.

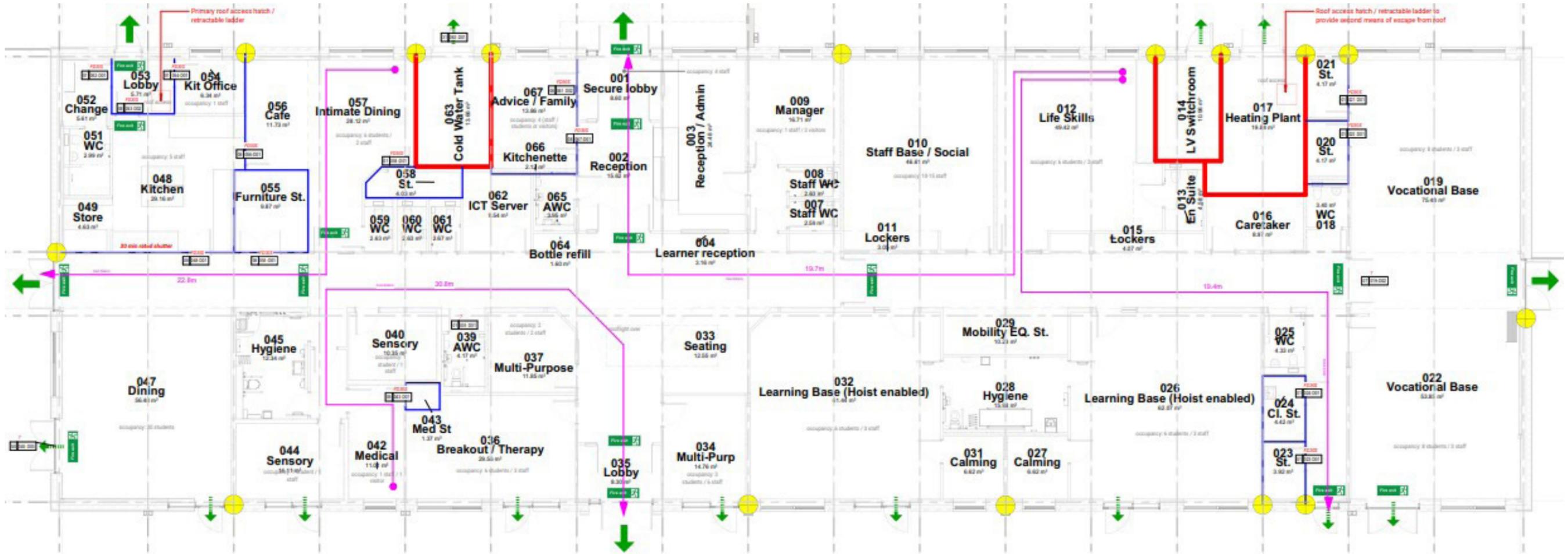
KEY:

- DuPont Tyvek FireCurb Breather Membrane
- - - Bauder Capping Sheet & Underlayer
- Bauder Air & Vapour Control Layer
- Structural Steel

1 | Roof Perimeter - Brick
1 : 10

7.7 Building Performance & Sustainability.

9.0 Fire Strategy.



Final sign off required from Building Regulations & Fire Officer.

Drawing to be read in conjunction with MEP proposals indicating fire alarm, detection & emergency lighting layout.

Reference to be made to Door Schedule whereby all fire doors to have self closing devices.

Signage to comply with the recommendations of BS 5499-1 & BS 5499-1 & comprise of a graphical symbol, directional arrow & supplementary text.

Fire safety signs to identify fire-fighting equipment, fire alarm call points & disabled refuges along escape routes will be provided in accordance with Section 10.4.3 of BS 9999.

Signs, in accordance with BS EN ISO 7010 will be provided on fire doors to indicate that they should be kept shut. An exception to this is any fire door held open by electromagnetic devices connected to the fire alarm.

All fire safety signs which indicate escape routes shall be illuminated by means natural lighting or artificial lighting. To cater for power failure, emergency lighting will be located to provide sufficient illumination to these signs such that they are clearly distinguishable by occupants.

Ceiling voids to be separated with 30 minute FR cavity barriers at max. 20m centres (locations subject to agreement with Building Control).

Building owner / user to provide strategy to comply with Regulatory Reform (Fire Safety) Order 2005.

All classrooms to have a door to achieve 850mm clear opening for wheel chair usage.

60 minutes fire rated wall construction

Walls taken to underside of structural floor or roof & fire stopped with proprietary compressible fire seal

DOOR FIRE RATINGS:

FD30 / FD60 30 / 60 minutes fire rated door

FD30S / FD60S 30 / 60 minutes fire rated door with intumescent smoke seal

ESCAPE ROUTES:

Room Exit

Communal Exit

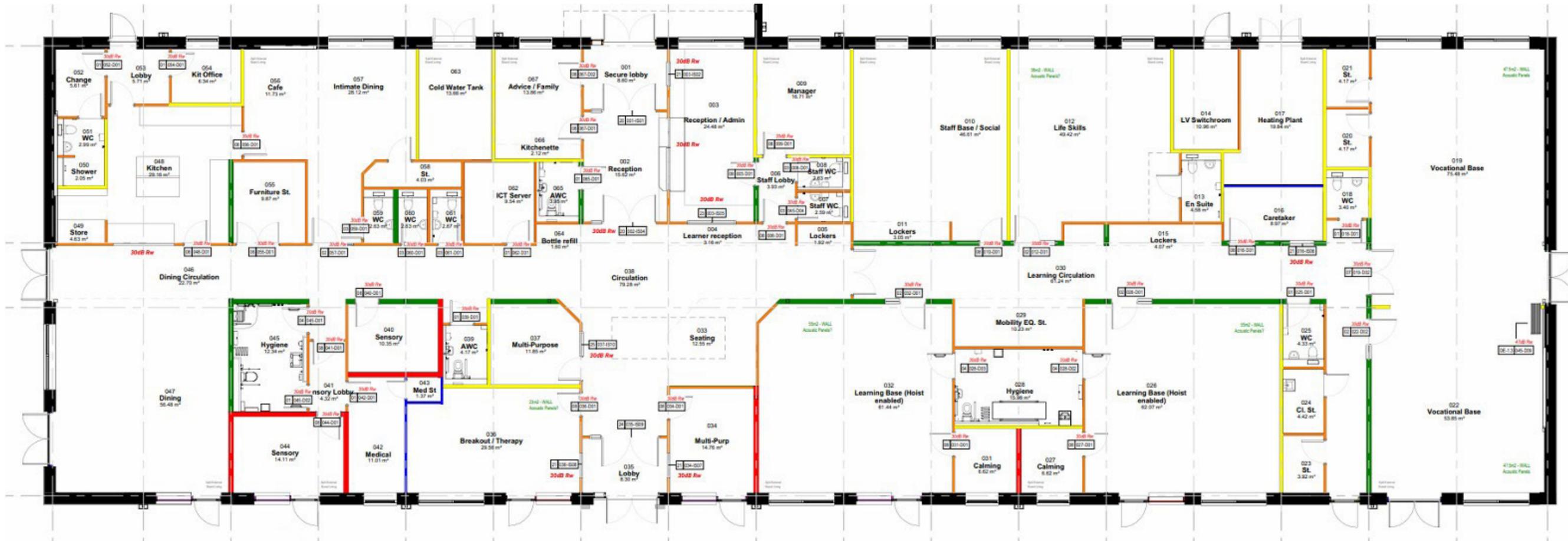
Travel Distance (One Direction)

Travel Distance

Fire exit sign to suit MEP proposed locations

Cavity Barrier

10.0 Acoustic Strategy.



INTERNAL WALL TYPES: British Gypsum Product Selections.

Type 01 - Internal Partition - BG Ref Q606062 (EN)
 Depth 102mm (106mm including skim)
 Stud 70 S 50 °C Stud@600mm c/c (3800mm max. height)
 Finish 15mm Duraline and Skim Finish (each side)
 Rating Severe Duty
 Acoustic 42 dB Rw - (35 dB Dnt,w)
 Fire Integrity: 60mins, Insulation: 60mins

Type 02 - Internal Partition - BG Ref A206028A (EN)
 Depth 208mm (212mm including skim)
 Stud 146 S 50 °C Stud@600mm c/c (4200mm max. height)
 Finish 2x15mm Wallboard with Skim Finish (each side)
 Rating Severe Duty
 Acoustic 50 dB Rw - (43 dB Dnt,w)
 Fire Integrity: 60mins, Insulation: 60mins

Type 03 - Internal Partition - BG Ref Q606063 (EN)
 Depth 102mm (106mm including skim)
 Stud 70 S 50 °C Stud@600mm c/c (3800mm max. height)
 Insulation 25mm Isover APR 1200
 Finish 15mm Duraline with Skim Finish (each side)
 Rating Severe Duty
 Acoustic 47 dB Rw - (40 dB Dnt,w)
 Fire Integrity: 60mins, Insulation: 60mins

Type 04 - Internal Partition - BG Ref A206167S (EN)
 Depth 132mm (136mm including skim)
 Stud 70 S 50 °C Stud@600mm c/c (4000mm max. height)
 Finish 2x15mm SoundBloc with Skim Finish (each side)
 Rating Severe Duty
 Acoustic 52 dB Rw - (45 dB Dnt,w)
 Fire Integrity: 90mins, Insulation: 90mins

Type 05 - Internal Partition - BG Ref A206A243S (EN)
 Depth 212mm (216mm including skim)
 Stud 146 AS 50 AcouStud@600mm c/c (4000mm max. height)
 Insulation 50mm Isover APR 1200
 Finish 2x15mm SoundBloc with Skim Finish (each side)
 Rating Severe Duty
 Acoustic 62 dB Rw - (56 dB Dnt,w)
 Fire Integrity: 90mins, Insulation: 90mins

Type 06 - SVP & Generic Pipe Boxing Out - BG Ref B216005D (EN)
 Depth 95mm (97mm including skim)
 Stud 70 I 70 T Stud@600mm c/c (4000mm max. height)
 Insulation 50mm Isover APR 1200
 Finish 2x12.5mm SoundBloc with Skim Finish
 Rating Severe Duty
 Acoustic
 Fire Integrity: 30mins, Insulation: 30mins

External wall lining 2x12.5mm plasterboard on VCL as part of SFS external wall assembly. BG lining board type & selection TBC.

Pozzoni Internal Partitions LEGEND to be read with British Gypsum Specification, Standard Details, Data Sheets, Construction Details & SpecSure warranty.

Drawing to be read alongside British Gypsum - Best Practice Guidance - Openings within fire rated systems BPG-OFS-3.4 February 2021.

NOTE - Allowance to be made for 4 sided Column & 3 sided Beam Encasements.

BG board type & selection [to align specialist BG, fire & acoustic requirements] & **TBC**.

11.0 Secured by Design.

The Project Design Team on the new Bexley Transitional Learning Centre have been working in conjunction with the Metropolitan Police Service South East Region and an appointed Designing Out Crime Officer to assist with overseeing the current new building and external works proposals and advise of any matters pertinent to achieving a secure site that would comply with Approved Document 'Q' of the current Building Regulations and follow 'Secured by Design' protocols & processes together with a local knowledge that might be of relevance.

Up to the point of making this Planning Application, the Project Design Team has been following the advice and guidance within the National Protective Security Authority / RIBA 'Security Overlay to the RIBA Plan of Work', dated February 2023 and the 'New Schools 2014' publication by Secured by Design.

In particular, the Project Design Team has been designing to the guidance within these two documents with particular attention to the following key subjects:

☒ Urban Design & Relevant Planning Policies

☒ Perimeter Security

☒ Entrances at the Perimeter

☒ Vehicle Parking & Access

☒ Access within the new Centre site

☒ External Landscaping & External Works Design Selection, including CCTV

☒ Storage Facilities

☒ Utility Services & Mail Delivery

☒ The Building Shell

☒ Internal Security Considerations

☒ Security Lighting

12.0 Building Regulations & Compliance Statement.

Introduction and the Building Regulations 2010

In England, the Department for Levelling Up, Housing and Communities is responsible for the Building Regulations 2010 and The Building (Approved Inspectors etc.) Regulations 2010.

The regulations apply to most new buildings and many alterations to existing buildings. They have become more onerous and new parts have been introduced over time.

A series of approved documents provide general guidance about how specific aspects of building design and construction can comply with the Building Regulations.

The requirements of the Building Regulations are set out in Schedule 1:

- Part A: Structure
- Part B: Fire Safety
- Part C: Site preparation and resistance to contaminants and moisture
- Part D: Toxic Substances
- Part E: Resistance to the passage of sound
- Part F: Ventilation
- Part G: Sanitation, hot water safety and water efficiency
- Part H: Drainage and waste disposal
- Part J: Heat producing appliances and Fuel storage system
- Part K: Protection from falling, collision and impact
- Part L: Conservation of fuel and power
- Part M: Access to and use of buildings
- Part N: Fire Safety

- Part O: Part O: Overheating
- Part P: Electrical safety
- Part Q: Security - Dwellings
- Part R: Physical infrastructure for high-speed electronic communication networks
- Part S: Infrastructure for the charging of electric vehicles
- Part T: Toilet Accommodation
- Regulation 7: Materials and workmanship

Building regulations apply to the majority of new builds and to many alterations of existing buildings. In order to show that you are complying with building regulations for your project, you need to submit your building regulations drawings for building control approval.

The design team should prepare building regulations application drawings based on the technical legislation that is laid out in the Approved Documents. Designing your project to meet building regulations ensures that your building:

- Is safe for those in and around it
- Meets the required level of comfort and living standards
- Will be of a good standard

Building regulations approval (building control) is not the same as planning permission. In fact, they are two entirely separate pieces of legislation. Sometimes you may need both; sometimes you may only require one; or none at all.

All designers associated with the project must comply with regulation 11J of the Building Regulations 2010 (as amended) - General duty:

Any person carrying out any design work must take all reasonable steps to ensure the design work carried out by them (and by any workers under their control) is planned,

managed and monitored so that the design is such that if the building work to which the design relates is built in accordance with that design the building work would be in compliance with all relevant requirements.

All designers associated with the project must also comply with regulation 11K of the Building Regulations 2010 (as amended) – Additional duties of designers:

- Designers must take all reasonable steps to ensure that the design is such that if the building work to which the design relates were built in accordance with that design the building work would be in compliance with all relevant requirements of the building regulations.
- Designers must provide sufficient information about the design, construction and maintenance of the building to assist the client, other designers and contractors to comply with all relevant requirements of the building regulations.
- If only carrying out part of the design, the designers must consider other design work which directly relates to the building work and report any concerns as to compliance with the relevant requirements of the building regulations to the principal designer.
- If requested to do so, a designer must provide advice to the principal designer or the client on whether any work, to which a design they are preparing or modifying relates, is higher-risk building work.

The Principal Designer will advise and assist the Client on their legal duties, plan, manage and monitor the pre-construction phase and co-ordinate matters relating to building regulations compliance.

Coordinate matters relating to the design work comprised in the project so that all reasonable steps are taken to ensure that the design is such that if the building work to which the design relates were built in accordance with that design the building work would be in compliance with all relevant requirements.

Design Issues

To satisfy the regulator Designer Compliance Statements should adopt the following approach:

- A comprehensive detailed narrative must be provided by each designer clearly explaining how the design complies with the applicable functional requirements of the building regulations.
- There must be an account of the journey to achieve compliance: aims, objectives, approach to compliance, decisions made, guidance documents and design standards adopted.
- Be positively affirming of how the design demonstrates compliance with the relevant functional requirements. Avoid using phrases such as 'should', 'will' or 'must'.
- Should there be any gaps in the evidence of compliance, identify further design development required. Outline the reasons, details required and who is responsible.

KOK, in their role as Principal Designer have developed an initial Building Regulations Tracker. During Stage 4 the design team will need to populate this tracker with a comprehensive detailed narrative clearly explaining how the design complies with the applicable functional requirements of the building regulations,

They will then further review the design and adopted approach and assess whether the building design will comply with all relevant regulations.

13.0 CDM.

13.1 Introduction

Pre-Qualification of duty holders

Galliford Try has appointed all designers and has assessed designers as being competent for a project of this size and nature. All designers are aware of their duties under CDM and have adequate skills, knowledge and experience to undertake their role on this project.

Galliford Try have been appointed by the Client as Principal Designer under CDM Regulations with the key role of coordinating the design team in meeting their duties during the design phase. Galliford Try have instructed MSAFE Risk Management Ltd who have adequate skills, knowledge and experience to assist in the implementation of the delivery of Principal Designer duties.

Galliford Try have been instructed under a PCSA arrangement to coordinate design up to end of RIBA Stage 4. The intent is that Galliford Try will eventually be appointed as Principal Contractor by the Client.

Client

Under the Construction (Design & Management) Regulations 2015 (CDM) the Royal Borough of Greenwich (the Client) is responsible for ensuring that adequate health and safety arrangements are in place from the outset of a project. The Client has the most influence within the project team and can set the tone of a project in terms of the importance of health and safety through the design and construction process. The Client has appointed Galliford Try as Principal Designer with the role of coordinating and managing health and safety issues through the design phase. Galliford Try have appointed MSAFE as specialist health and safety practitioners to assist in executing the Principal Designer role.

Principal Designer

The Principal Designer is responsible for coordinating health and safety matters throughout the design phase and ensuring other designers fulfil their duties under CDM. MSAFE will assist the design team in identifying hazards associated with construction, use and maintenance, and exploring ways to mitigate risk through the design process. MSAFE will also advise on the necessary investigations / surveys required and assist the Client in the preparation of the Pre-Construction Information.

All designers

Designers have a duty to provide information to the Principal Designer on risks to health and safety associated with the execution of their designs. Designers are also required to eliminate risks to operatives and end users through the design process so far as reasonably practicable. Where a risk cannot be eliminated adequate efforts should be made to reduce the risk by design solution, or provision of adequate information to allow others to manage the risk to an acceptable level. It is envisaged that any risk information be included on construction drawings in addition to the Hazard Elimination and Management Schedule (see Section 13.3).



13.2. Approach to risk management

General Principles of Prevention

CDM requires the design team to identify foreseeable risks associated with the construction, use and future maintenance of the alterations made to the building as part of this project. Where reasonably practicable (and taking into account other design considerations) risks should be eliminated through the design process. In assessing and managing the risks, CDM requires designers to adopt the General Principles of Prevention in order of priority as follows:

- a) Avoid risks;
- b) Evaluate risks that cannot be avoided;
- c) Combat the risks at source;
- d) Adapt the work to the individual;
- e) Adapt to technical progress;
- f) Replace the dangerous by the non-dangerous or less dangerous;
- g) Develop a coherent prevention policy;
- h) Give collective protective measures over individual protective measures; and
- i) Give appropriate instructions to employees.

Red, amber, green lists

All designers are aware of their duties under CDM Regulations 2015 and understand how design decisions can significantly impact risks to health and safety associated with the construction, use and maintenance of a building. Designers are aware of their duties to adopt the 'Principles of Prevention' as identified under CDM Regulations and the Management of Health and Safety at Work Regulations. As such, under the coordination of the Principal Designer, the design team will take into account the HSE RAG lists when preparing their designs. Many items on the list will not be relevant to this project.

13.3. Hazard Elimination and Management Schedule (HEMS)

As part of the Principal Designer duty to coordinate health and safety matters through the design phase, MSAFE will develop a Hazard Elimination and Management Schedule (HEMS) as part of the Pre-Construction Information. The HEMS is a live document which records how risks have been managed and demonstrates how the Project Team has met its duties under CDM (see Figure 1). Through meetings with the Client and designers, and review of design information, MSAFE will regularly update the HEMS throughout the pre-construction phase.

13.0 CDM.

13.4. Pre-Construction Information

To date, the following Pre-Construction Information has been provided by the Client:

- Asbestos Management Survey – Armstrong York Ltd 2019
- Asbestos R&D Survey – Astra UK 2024
- Utilities Survey – QODA 2024
- Tree Survey – Arboriculture Impact Assessment 2021
- Detailed UXO Risk Assessment – Express 2021
- Ground Investigation – Ridge 2023
- Remediation Method Statement – Ridge 2023
- Intrusive Geotech Investigation – Soils Ltd 2024
- Lead Paint Survey – Eton Environmental 2024
- Transport Statement – Ridge 2024
- Flood Risk Assessment – Ridge 2024
- Pre-Construction Information – Frankham 2023
- Tree Protection Plan – RPS Group 2023

Further information required to assist the Principal Contractor in planning for the safe execution of the project:

- Asbestos surveys of buildings / areas not accessed during existing R&D Survey.
- Confirmation of any Local Authority Streetworks projects that could impact on the Principal Contractor's site logistics and management arrangements.
- Structural survey of buildings to be demolished.

13.5 Hazards for further consideration

To date, the Principal Designer has identified the following specific hazards which should be considered by design team during the pre-construction phase:

- Known asbestos within buildings to be demolished and possible asbestos within areas yet not surveyed.
- Lead paint on surfaces within existing buildings to be demolished.
- Possibility of asbestos containing materials within the ground.
- Significant 'muck away' associated with reduction in site levels and site remediation plan. Risk of mud on public highway.
- Elevated levels of polyaromatic hydrocarbons (PAH) and total petroleum hydrocarbons (TPH). Exposure to contaminated ground during construction and end users who could engage in pica.
- Access to site via busy public highway and within close proximity to Gravel Pit Lane pedestrian / cycleway.
- Risk of destabilisation of ground and existing trees during reduced dig.
- Access for maintenance of facades and mechanical and electrical equipment.
- Designing for vulnerable purpose group.

14.0 Spatial Design Strategies.

14.1 Functional Adaptability.

14.2 Wellbeing.

14.3 Community Use.

14.4 Wayfinding.

Signage strategy plan to follow

15.0 Interior Proposals & FF&E Layout.

15.0 FF&E Layout.

15.1 Durability Statement.

Durability Statement (FF&E)

All FF&E products specified have been carefully selected by reviewing the requirements of project and establishing the best fit.

All products / materials proposed meet our sustainability criteria and are from traceable sources, from our approved Supply Chain. By adapting this approach to the materials, without losing quality or function ability will provide the school with robust furniture solutions, whilst also supporting decarbonisation targets.

Tangible product quality will be underwritten with warranties, with a minimum warranty of 5 years for all fitted furniture.

Ranges will be FIRA tested and certified to Severe Contract Use. This involves an extensive test process including:

- Physical strength characteristics, for example tensile strength, tear strength, seam slippage, burst strength, etc.
- Colour-related properties, especially colour fastness to light, wet rubbing, dry rubbing and water.
- Pile retention properties for woven and knitted pile fabrics.
- Wear resistance tests such as abrasion resistance, pilling.
- An assortment of leather tests such as flexing, visible soiling, abrasion, light fastness.

Quality and durability standards relevant to this project that the proposed furniture will adhere to include, but are not limited to:

- Worktables and desks: Methods of test for the determination of the stability and the mechanical strength of the structure will adhere to BS 527-3: 2003

- Storage units: Test methods for the determination of strength and durability of moving parts will adhere to BS EN 14074: 2004*

- All fabrics used in upholstered furniture items will comply with BS 2543:2004 to general contract or higher rating.

- Unless specifically agreed otherwise, only fabrics that are independently certified to $\geq 70,000$ Martindale cycles will be proposed. Furthermore, fabrics with stain and moisture resistance will be preferred, where possible.

- Foams used in upholstery will conform to BS 3379: 2005

- Unless superseded by project specific requirements, furniture specification will comply with the standards set-out in DfE Technical Annex 3.

An O&M manual will be provided to all customers that includes full details of manufacturers, product specifications and product warranties.

A10-year continuity guarantee will also be provided on all products. This is supported by continuity agreements with our core supply base so that parts and matching finishes are often available long after the warranty expires. In addition to this, to further prolong the usable lifetime of our client's furniture, we can also design and manufacture essential parts, if it is financially viable to do so.

If a range is discontinued, relevant component parts will be held for this period in support of the installed client base. However, we reserve the right to continuously improve our products, which may result in some minor aesthetic changes. When these changes occur, they will be carried out in a way that is sympathetic to the original design.

15.2 Surface Finishes - Walls.

WALL FINISHES: ALL FINISHES ARE 'SIMILAR OR APPROVED'

	Type W1 Durable Painted Walls
	Product Dulux Trade Diamond Eggshell
	Colour Colour TBC
	Type W2 Hygienic Painted Walls (Wet Areas)
	Product Dulux Trade Sterishield Diamond Eggshell
	Colour Colour TBC
	Type W3 Hygienic PVC Full Height Wall Cladding (Wet Areas: Hygiene)
	Product Altro WhiteRock (or similar approved)
	Colour Colour TBC

All finishes taken up to above ceiling height where applicable, refer to typical heights.

Splashback (behind sinks & hand driers, water stations)
 WCs splashbacks (300mm high) and behind hand driers (except for IPS panels). Splashback behind Cleaners sink to be 1200mm high.
 Product Altro WhiteRock (or similar approved)
 Colour Allow for one colour.

Colour 1

Feature Paint Walls
 Dulux Trade Diamond Eggshell (heavy duty) TBC
 Allow for two feature colours

Feature Colour 1
 Feature Colour 2

Dado Rail
 Appropriate means of wall protection from wheelchair damage to be included to Mobility Eq. Store areas as indicatively shown at 1100mm high.
 Product Yeoman Shield, Ultra 90 Rail (or similar approved)
 Colour TBC

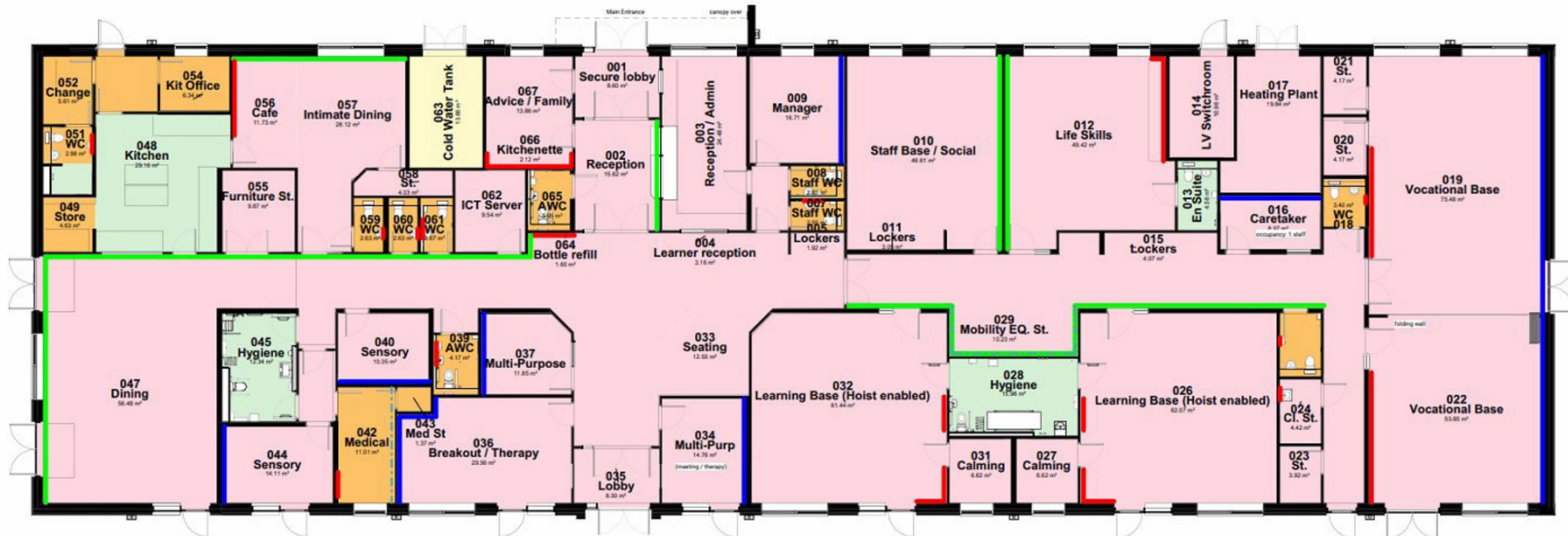
Ceiling heights generally: Refer to Ceiling Plan
 Classrooms +2700mm
 Corridors +2400mm / 2700mm
 Offices +2700 / 2400mm
 Toilets +2400mm

Frames, architraves & skirting's:
 Product Dulux Trade Diamond Satinwood
 Colour TBC

Plasterboard ceilings & roof soffit (Plant Rooms):
 Product Dulux Trade Ultra Matt TBC
 Colour S 0500-N Pure Brilliant White

Window cills & ceiling bulkheads:
 Product Dulux Trade Diamond Eggshell
 Colour S 0500-N Pure Brilliant White

- Notes:**
- Make allowance for acoustic panels as per Acoustician's requirements throughout school.
 - Learning Spaces - Refer to quantities on acoustic strategy plans.
 - Feature panel colours & h.o. colours [TBC]
 - Minimum light reflectance value (LRV) for all walls = 50%.
 - Exposed corners or columns in heavy duty areas shall be protected with uPVC or stainless-steel corner guards (to all corridors).

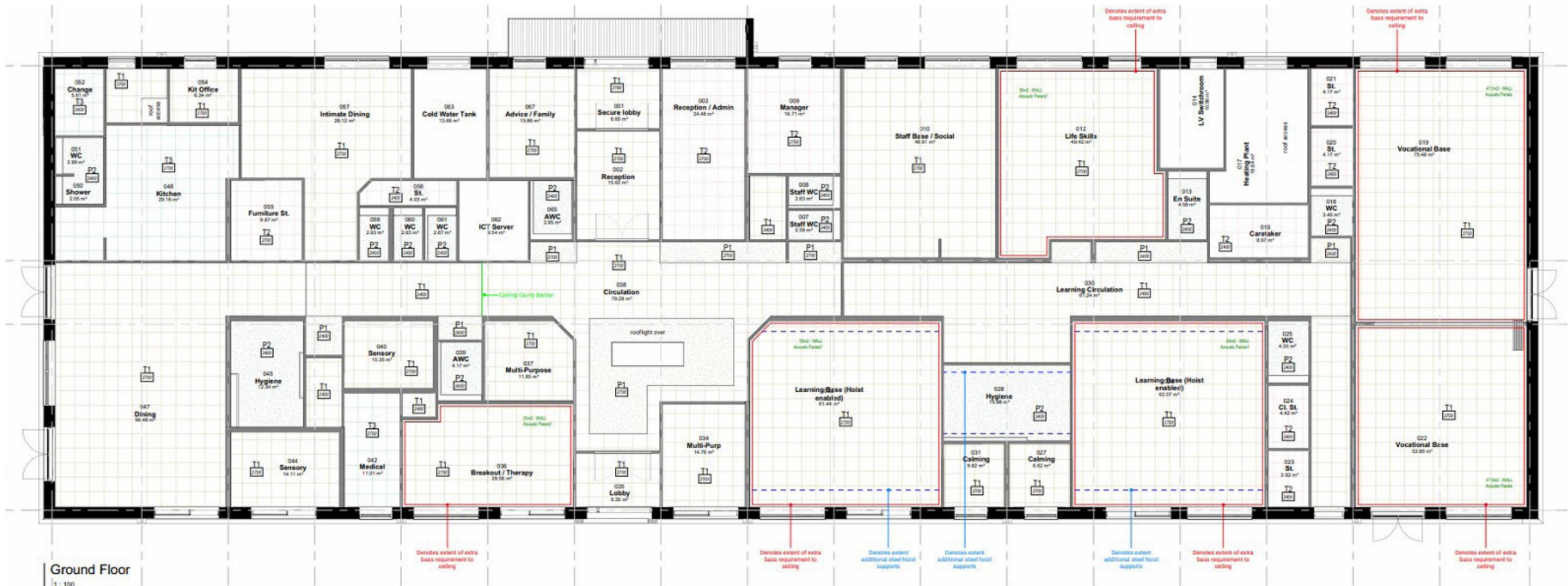


15.2 Surface Finishes - Ceilings.

CEILING FINISHES: ALL FINISHES ARE 'SIMILAR OR APPROVED'

- Type T1 Ceiling Tiles (Front of House)**
 DFE Codes C1.1
 Product Ecophon, Gedina E
 Colour White
 Size 600 x 600
 Acoustic Class A
- Type T2 Ceiling Tiles (Back of House)**
 DFE Codes C1.1
 Product Ecophon, Advantage A
 Colour White
 Size 600 x 600
 Acoustic Class A
- Type T3 Hygienic Performance Ceiling Tiles (WC's, Kitchens)**
 DFE Codes C1.2 / C2.2
 Product Ecophon, Hygiene Performance A
 Colour White
 Size 600 x 600
 Acoustic Class A
- Type P1 Plasterboard**
 DFE Codes C2.2
 Product Painted plasterboard
 Colour White
- Type P2 Moisture Resistant Plasterboard**
 DFE Codes C2.3
 Product Painted moisture resistant plasterboard
 Colour White

- SEND Teaching Spaces** to be uplifted with extra bass pads to achieve compliant acoustics
 Product Ecophon, Gedina E + Extra Bass
- Ceiling cavity barrier to provide 30 mins fire resistance (integrity) and 15 mins fire resistance (insulation)



15.3 Sanitaryware & Doc M.

Sanitaryware Schedule Ground Floor		
Room: Number	Room: Name	Description
028	Hygiene	Adjustable Height Trolley Shower
Adjustable Height Trolley Shower: 1		
045	Hygiene / Cha. Plac.	Ambulant shower & accessible WC cubicle shower seat
Ambulant shower & accessible WC cubicle shower seat: 1		
024	Cl. St.	Cleaners sink
Cleaners sink: 1		
045	Hygiene / Cha. Plac.	Colostomy Shelf
Colostomy Shelf: 1		
028	Hygiene	Doc M WC corner pack
039	AWC	Doc M WC corner pack
065	AWC	Doc M WC corner pack
Doc M WC corner pack: 3		
045	Hygiene / Cha. Plac.	Grab rail
045	Hygiene / Cha. Plac.	Grab rail
045	Hygiene / Cha. Plac.	Grab rail
045	Hygiene / Cha. Plac.	Grab rail
Grab rail: 4		
007	Staff WC	Hand-dryer
008	Staff WC	Hand-dryer
013	En Suite	Hand-dryer
018	WC	Hand-dryer
025	WC	Hand-dryer
028	Hygiene	Hand-dryer
039	AWC	Hand-dryer
045	Hygiene / Cha. Plac.	Hand-dryer
051	WC	Hand-dryer
059	WC	Hand-dryer
060	WC	Hand-dryer
061	WC	Hand-dryer
065	AWC	Hand-dryer
Hand-dryer: 13		
028	Hygiene	Paper towel dispenser
045	Hygiene / Cha. Plac.	Paper towel dispenser
Paper towel dispenser: 2		
028	Hygiene	Sanitary Disposal Bin
045	Hygiene / Cha. Plac.	Sanitary Disposal Bin
Sanitary Disposal Bin: 2		
028	Hygiene	Sluice Sink
Sluice Sink: 1		
013	En Suite	Thermostatic Mixer Shower
028	Hygiene	Thermostatic Mixer Shower
045	Hygiene / Cha. Plac.	Thermostatic Mixer Shower
050	Klt. Shower	Thermostatic Mixer Shower
Thermostatic Mixer Shower: 4		
028	Hygiene	Wall mounted privacy screen
045	Hygiene / Cha. Plac.	Wall mounted privacy screen
Wall mounted privacy screen: 2		
045	Hygiene / Cha. Plac.	Wash basin (height adjustable)
Wash basin (height adjustable): 1		
007	Staff WC	Wash hand basin (wall mounted)
008	Staff WC	Wash hand basin (wall mounted)
013	En Suite	Wash hand basin (wall mounted)
018	WC	Wash hand basin (wall mounted)
025	WC	Wash hand basin (wall mounted)
051	WC	Wash hand basin (wall mounted)
059	WC	Wash hand basin (wall mounted)
060	WC	Wash hand basin (wall mounted)
061	WC	Wash hand basin (wall mounted)
Wash hand basin (wall mounted): 9		
028	Hygiene	Waste Disposal Bin
045	Hygiene / Cha. Plac.	Waste Disposal Bin
Waste Disposal Bin: 2		
007	Staff WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
008	Staff WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
013	En Suite	WC back to wall pan & concealed cistern (IPS 1No. WC)
018	WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
025	WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
051	WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
059	WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
060	WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
061	WC	WC back to wall pan & concealed cistern (IPS 1No. WC)
WC back to wall pan & concealed cistern (IPS 1No. WC): 9		
028	Hygiene	Wide paper roll dispenser
045	Hygiene / Cha. Plac.	Wide paper roll dispenser
Wide paper roll dispenser: 2		

Sanitaryware Totals	
Description	Count
Adjustable Height Trolley Shower	1
Ambulant shower & accessible WC cubicle shower seat	1
Cleaners sink	1
Colostomy Shelf	1
Doc M WC corner pack	3
Grab rail	4
Hand-dryer	13
Paper towel dispenser	2
Sanitary Disposal Bin	2
Sluice Sink	1
Thermostatic Mixer Shower	4
Wall mounted privacy screen	2
Wash basin (height adjustable)	1
Wash hand basin (wall mounted)	9
Waste Disposal Bin	2
WC back to wall pan & concealed cistern (IPS 1No. WC)	9
Wide paper roll dispenser	2
Grand total: 58	

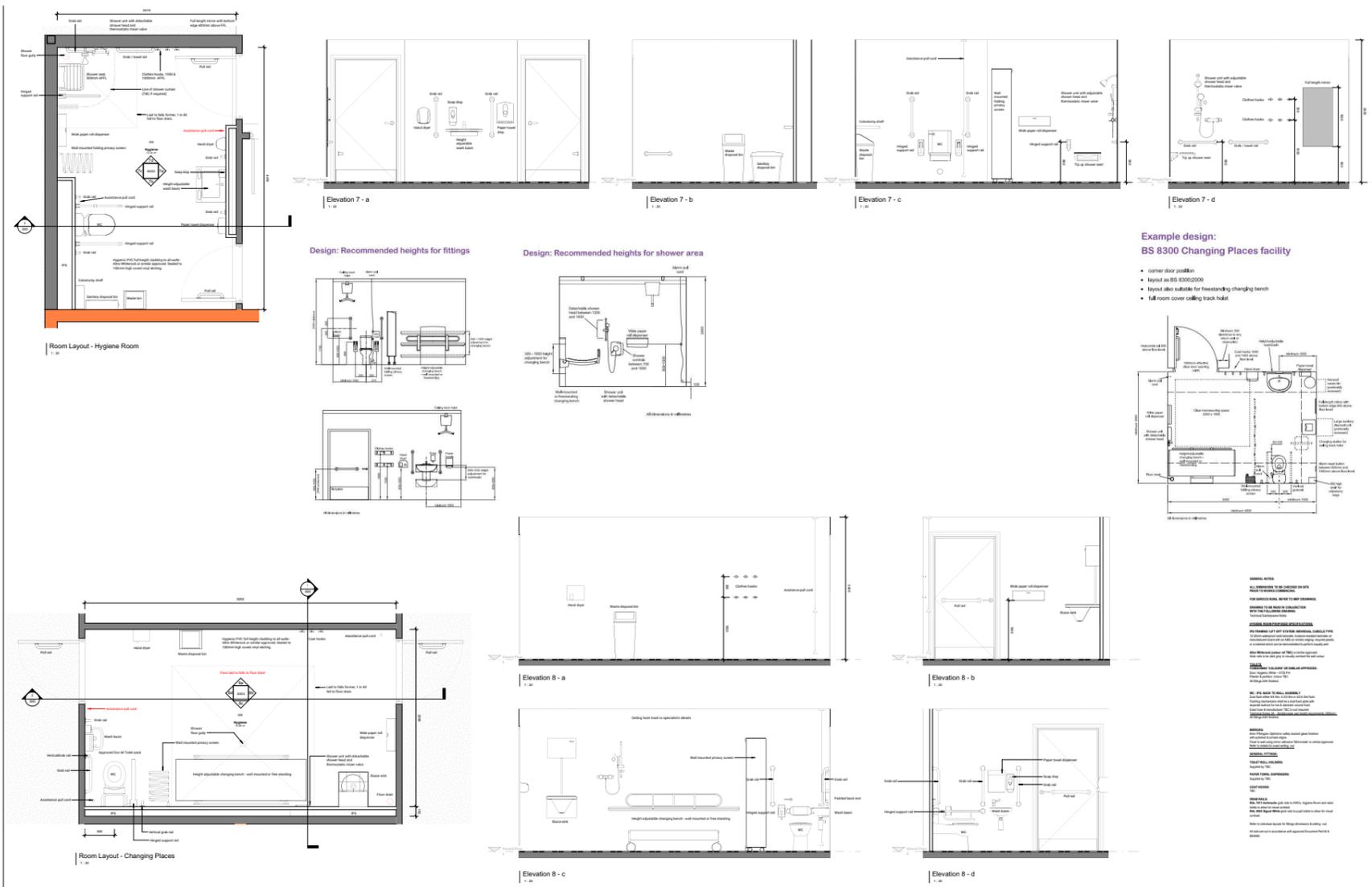
Wall Mirror Totals			
Description (WxH)	Count	Type	Type Mark
Wall mirror 400x800mm	4	500x1000mm	
Wall mirror 400x800mm	9	400x800mm	
Grand total: 13			

Notes:

Sink locations in Learning Spaces / Intimate Dining excluded from above schedules - included as part of FF&E package.

Sink / wash hand basins in catering kitchen excluded from above schedules - included as part of catering specialists package.

15.4 Health, Hygiene and Accessibility.



15.5 Accessible & Inclusive Design.

Stage 3 Accessibility Approach

16.0 Landscape

16.1 Key Principles.

17.0 Recommendations & Next Steps.

17.1 Local Authority Planning.

Programme

17.2 RDD.

Next Steps

17.3 RIBA Stage 4 Data Exchange.

RIBA Stage 4

Pozzoni Architecture Ltd.

Altrincham

Brighton